

SP2-116-1

USE PERMIT APPLICATION

Arlington County Planning Division

GREG FREW

Permit #: ZADM160082

02/08/2016

CPHD Case #:



OBJECT NAME: 400 ARMY NAVY DRIVE - TEARDROP DATE: 2/8/16

OBJECT PROPERTY IDENTIFICATION:

ADDRESS 400 ARMY NAVY DRIVE FEB 08 2015

ARLINGTON, VA "TEARDROP" LAND

REAL PROPERTY CODE(S) RPL: 35-003-437

AREA (SQ. FT./ACRES) 16,100 SQ. FT. ZONING DISTRICT(S) C-0-2.5

OTHER PROPERTY IDENTIFIERS TEARDROP LAND BETWEEN OLD SOUTH EADS AND EADS STREET

REQUEST TYPE:

ORIGINAL FILING AMENDMENT TO EXISTING USE PERMIT REVISION TO APPLICATION

IF AMENDMENT, IDENTIFY EXISTING USE PERMITS: _____

REQUESTED USE:

CHILD CARE* TELECOMMUNICATIONS* OUTDOOR CAFÉ* LIVE ENTERTAINMENT*

TRANSITIONAL USE SUBDIVISION PER §31. _____ KIOSK COMPREHENSIVE SIGN PLAN

OTHER AS SPECIFIED USE LAND FOR PARKING, CONSTRUCTION TRAILERS AND MISC. STORAGE PER AGREEMENT WITH VORNADO.

*NOTE: In addition to the information on this form, the applicant must also provide associated supplemental information as provided for in the attached "Supplemental Information" document.

USE REQUESTED IS PERMITTED UNDER:

SECTION 12.10.3 SUBSECTION _____ OF THE ARLINGTON COUNTY ZONING ORDINANCE

APPLICANT INFORMATION:

OWNER OF RECORD CONTRACT OWNER** OCCUPANT**

NAME BALFOUR BEATTY CONSTRUCTION

ADDRESS 11325 RANDOM HILLS RD. SUITE 500 FAIRFAX, VA 22030

PHONE NUMBER 703-609-5153 EMAIL gfrew@balfarbeatyus.com

SIGNATURE [Signature]

**NOTE: Property owner must consent to submission of this application in writing; include consent with application.

IF APPLYING ON BEHALF OF APPLICANT PROVIDE THE FOLLOWING:

NAME N/A TITLE N/A

ADDRESS N/A

PHONE NUMBER N/A EMAIL N/A

CONTINUED >

DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND DEVELOPMENT
 ZONING ADMINISTRATION
 2100 CLARENDON BOULEVARD SUITE #1000
 ARLINGTON, VIRGINIA 22201
 PHONE (703) 228-3883 • FAX (703) 228-3896

USE PERMIT APPLIC

DISCLOSURE STATEMENT

Arlington County Planning Division

SUBJECT PROPERTY IDENTIFICATION:

DATE: 2/9/16

ADDRESS 400 ARMY NAVY DRIVE
ARLINGTON, VA 22202 "TEARDROP"

REAL PROPERTY CODE(S) 35-003-437

AREA (SQ. FT./ACRES) 16,100 ZONING DISTRICT(S) C-0-2.5

LOT(S) _____ BLOCK _____

SECTION _____ SUBDIVISION _____

OWNERSHIP:

YES NO

Is the owner of said real estate a corporation whose stock is traded on a national or local stock exchange and having more than five hundred (500) shareholders? If YES, give the name of the corporation and proceed to certification portion of this form.

If NO, provide a list of the names, addresses and nature of interest of ALL persons having equitable ownership of the real estate to be affected. Include, in the case of corporate ownership, the names of stockholders, officers, directors and ALL parties in interest. If aforementioned information does not fit in the space provided, please attach an additional document as necessary.

PARCEL ADDRESS	NAME	ADDRESS	NATURE OF INTEREST

SEE ATTACHED

CERTIFICATION:

I hereby certify that this is a true and accurate disclosure of all persons having equitable ownership in the real estate to be affected and of all parties in interest.

APPLICANT'S NAME GREG FREW TITLE SR. PROJECT ENGINEER

ADDRESS 11325 RANDOM HILLS RD. SUITE 500 FAIRFAX, VA 22030

SIGNATURE [Signature]

STATE OF VA

COUNTY OF Fairfax

TO WITNESS Greg Frew

Subscribed and sworn before me this 8th day of February, 20 16

Notary [Signature]

My commission expires 9/30/16

Amanda R Brashears
Notary Public #7517844
Commonwealth of Virginia
My Commission Expires:
September 30, 2016

DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND DEVELOPMENT
ZONING ADMINISTRATION
2100 CLARENDON BOULEVARD SUITE #1000
ARLINGTON, VIRGINIA 22201
PHONE (703) 228-3883 • FAX (703) 228-3896

Arlington County Zoning Division
2100 Clarendon Boulevard, Suite 1000
Arlington, VA 22201

Re: Arlington County Use Permit

To Whom It May Concern,

Per Article 12.10.3 of the Arlington County Zoning Ordinance, Balfour Beatty Construction proposes to use the "teardrop" parcel of land adjacent to the construction project at 400 Army Navy Drive. This parcel of land is bound by 11th Street on the south, Old South Eads Street on the east, Army Navy Drive on the north, and South Eads Street on the East. As shown in the attached documents, Balfour Beatty Construction has entered into an agreement with Vornado Realty Trust to use the parcel of land for construction management personnel parking, construction trailers, construction fencing, and miscellaneous storage.

The land use is needed to provide adequate room to place construction trailers and supplies a safe distance away from the demolition of the existing building and construction of the new structure. We plan to incorporate this parcel of land into our overall construction logistics plan to ensure the overall safety of the construction personnel and surrounding community. Noise will be limited to the Arlington County approved work hours of 7:00am to 6:30pm Monday through Friday and 10:00am to 6:30pm on weekends and holidays. Tree protection will be installed around the existing tree per Arlington County requirements and site field visit on January 4, 2016 with Vincent Verweij with Arlington County Department of Parks and Recreation.

Should you have any additional questions or concerns please contact me at 703-362-9960 or cmcgwier@balfourbeattyus.com

Sincerely,
Craig McGwier



Digitally signed by
Craig McGwier
Date: 2016.01.14
16:14:46-05'00'

Senior Project Manager
Balfour Beatty Construction



Arlington County, Virginia



KPC: 35-005-457

RPC: 35-003-437



Legend

Metro Stations

- Metro Blue Line Station
- Metro Orange Line Station
- Metro Orange/Blue Line Station
- Metro Orange/Silver/Blue Line Station
- Metro Orange/Silver Line Station
- Metro Yellow/Blue Line Station

Metro Rail Lines

- Blue Line
- Blue-Orange Line
- Blue-Orange-Silver Line
- Blue-Yellow Line
- Orange Line
- Orange-Silver Line
- Yellow Line

Metro Station Areas

Parcels

1: 1,200



NAD_1983_StatePlane_Virginia_North_FIPS_4501_Feet
© Arlington County, VA. GIS Mapping Center

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

General Information

Owner 1101 FERN ST INC ARNA-EADS INC %VORNADO RLTY		Legal Description PARCEL F PENTAGON INDUSTRIAL CENTER 52,017 SQ FT	
Mailing Address 210 ROUTE 4 EAST PARAMUS NJ 07652		Trade Name PENT.IND.CTR.SITE PLAN PT.PARCEL 1D	
Year Built N/A	Units N/A	EU# N/A	
Property Class Code 101-Off Bldg-VacLand-site plan	Zoning	Lot Size 52017	
Neighborhood# 970000	Map Book/Page 075-07	Polygon 35003437	
Site Plan N/A	Rezoning N/A	Tax Exempt No	

Assessment History

Effective Date	Change Reason	Land Value	Improvement Value	Total Value
1/1/2015	01- Annual	\$7,097,900	\$0	\$7,097,900

35-003-437 ARMY NAVY DR ARLINGTON VA 22202

05-039-001	4035 OLD DOMINION DR	2/3/2015	\$0	5-Not Market Sale	/	20150100006322
07-006-015	4746 LEE HWY	2/3/2015	\$0	5-Not Market Sale	/	20150100006321
02-053-005	N HARRISON ST	1/30/2015	\$0	F-Multiple RPCs Not Market Sal	4818/2170	
02-053-022	N HARRISON ST	1/30/2015	\$0	F-Multiple RPCs Not Market Sal	4818/2170	
02-053-023	2500 N HARRISON ST	1/30/2015	\$0	F-Multiple RPCs Not Market Sal	4818/2170	
13-016-001	5101 WILSON BLVD	1/30/2015	\$0	5-Not Market Sale	4818/2178	
05-052-025	3713 LEE HWY	1/30/2015	\$0	5-Not Market Sale	4818/2185	
14-060-083	N 5th PL	1/28/2015	\$0	D-Resub/Declaration	4817/2189	
14-060-084	N POLLARD ST	1/28/2015	\$0	D-Resub/Declaration	4817/2189	
13-018-009	660 N GLEBE RD	1/7/2015	\$8,000,000	L-Land Sale	4814/1222	
14-061-011	3912 5th RD N	1/1/2015	\$0	F-Multiple RPCs Not Market Sal	/	20150100005516
14-061-012	5th RD N	1/1/2015	\$0	F-Multiple RPCs Not Market Sal	/	20150100005516
20-030-058	250 N GLEBE RD	1/1/2015	\$0	6-Quitclaim	/	20150100009950
20-022-194	4235 N PERSHING DR	1/1/2015	\$0	6-Quitclaim	/	20150100009950
15-060-011	2401 WILSON BLVD	12/30/2014	\$0	D-Resub/Declaration	4812/2033	
18-026-004	1051 N HIGHLAND ST	12/30/2014	\$0	F-Multiple RPCs Not Market Sal	4813/0950	
18-026-004	1051 N HIGHLAND ST	12/30/2014	\$9,600,000		4813/0926	
18-026-012	3003 WASHINGTON BLVD	12/30/2014	\$0	F-Multiple RPCs Not Market Sal	4813/0950	
06-033-008	3436 LEE HWY	12/16/2014	\$0	5-Not Market Sale	4811/2312	
13-017-012	730 N GLEBE RD	12/12/2014	\$2,800,000	L-Land Sale	4809/1953	
15-079-003	1122 N JACKSON ST	12/9/2014	\$0	F-Multiple RPCs Not Market Sal	4809/1897	
15-079-008	1120 N JACKSON ST	12/9/2014	\$0	F-Multiple RPCs Not Market Sal	4809/1897	
19-012-015	925 N JACKSON ST	12/7/2014	\$0	F-Multiple RPCs Not Market Sal	4813/0409	
15-086-005	3415 WASHINGTON BLVD	11/28/2014	\$0	2-Sale or Gift to Relative	4807/1924	
19-054-007	20 N IRVING ST	10/21/2014	\$0	Q-Court Order/Quiet Title	4799/1131	
18-026-001	3005 WASHINGTON BLVD	10/2/2014	\$0	F-Multiple RPCs Not Market Sal	4796/0978	
18-026-002	1032 N GARFIELD ST	10/2/2014	\$0	F-Multiple RPCs Not Market Sal	4796/0978	
18-026-008	N GARFIELD ST	10/2/2014	\$0	F-Multiple RPCs Not Market Sal	4796/0978	
18-026-010	3001 WASHINGTON BLVD	10/2/2014	\$0	F-Multiple RPCs Not Market Sal	4796/0978	
18-026-011	3003 WASHINGTON BLVD	10/1/2014	\$0	D-Resub/Declaration	4795/1825	
18-026-012	3003 WASHINGTON BLVD	10/1/2014	\$0	D-Resub/Declaration	4795/1825	
18-026-013	3001 WASHINGTON BLVD	10/1/2014	\$0	D-Resub/Declaration	4795/1825	
07-006-174	1900 N GLEBE RD	9/17/2014	\$0	2-Sale or Gift to Relative	4792/2668	
19-016-007	3528 WILSON BLVD	9/17/2014	\$0	A-Correction Deed	4793/1673	
19-016-008	WILSON BLVD	9/17/2014	\$0	A-Correction Deed	4793/1673	
35-003-436	1199 S FERN ST	9/17/2014	\$0	D-Resub/Declaration	4793/0321	
35-003-437	ARMY NAVY DR	9/17/2014	\$0	D-Resub/Declaration	4793/0321	
35-003-438	ARMY NAVY DR	9/17/2014	\$0	D-Resub/Declaration	4793/0321	
12-041-033	5950 8th RD N	8/25/2014	\$0	D-Resub/Declaration	4788/1568	
07-006-247	4786 LEE HWY	8/21/2014	\$340,000		4788/0752	

Print Disclaimer Acceptance: The party who printed this document accepted the property search site disclaimers located at <http://propertysearch.arlingtonva.us>

35-003-437 ARMY NAVY DR ARLINGTON VA 22202

18-010-005	2830 WILSON BLVD	11/6/2013	\$2,500,000	4-Multiple RPCs, Not A Coded S	4737/1826
18-010-006	2832 WILSON BLVD	11/6/2013	\$2,500,000	4-Multiple RPCs, Not A Coded S	4737/1826
18-010-010	2836 WILSON BLVD	11/5/2013	\$625,000		4737/1133
06-012-005	4113 LEE HWY	10/11/2013	\$0	7-Partial Interest	4732/2163
11-012-001	6876 LEE HWY	9/9/2013	\$0	5-Not Market Sale	4725/2089
14-059-030	701 N GLEBE RD	8/26/2013	\$4,000,000		4721/0799
14-059-045	685 N GLEBE RD	8/26/2013	\$4,000,000	B-Not Previously Assessed	4721/0799
16-022-003	20th ST N	8/23/2013	\$0	A-Correction Deed	4740/0454
14-059-044	701 N GLEBE RD	8/13/2013	\$0	D-Resub/Declaration	4718/0443
14-059-045	685 N GLEBE RD	8/13/2013	\$0	D-Resub/Declaration	4718/0443
17-010-035	1701 CLARENDON BLVD	7/31/2013	\$3,050,000		4714/2315
18-010-010	2836 WILSON BLVD	7/30/2013	\$0	W-Will / R.O.S.	WB77/0346
16-022-003	20th ST N	7/29/2013	\$0	5-Not Market Sale	4740/0458
18-030-003	2820 WASHINGTON BLVD	7/10/2013	\$1,950,000		4707/2706
06-034-029	3200 LEE HWY	7/10/2013	\$3,173,182	9-Exchange	4710/0867
14-017-005	1031 N VERMONT ST	7/1/2013	\$0	F-Multiple RPCs Not Market Sal	4712/0001
14-017-006	4400 11th ST N	7/1/2013	\$0	F-Multiple RPCs Not Market Sal	4712/0001
14-017-018	N VERMONT ST	7/1/2013	\$0	F-Multiple RPCs Not Market Sal	4712/0001
14-018-001	N VERMONT ST	7/1/2013	\$0	F-Multiple RPCs Not Market Sal	4712/0001
14-018-002	N VERMONT ST	7/1/2013	\$0	F-Multiple RPCs Not Market Sal	4712/0001
14-018-070	N VERMONT ST	7/1/2013	\$0	F-Multiple RPCs Not Market Sal	4712/0001

Resubdivision

Resubdivision Project Information

Project Name

Pentagon Industrial Ctr, Parcels E, F, & G

Project Year

2014

Project ID#

1085

Project Type

Resubdivisio

Appraiser

CINDY

Deed Book/Page #

4793/0321

Date Complete

9/17/2014

Deed Document ID#

N/A

Deleted/Inactive RPC(s)

35-003-435

Added RPC(s)

35-003-436, 35-003-437, 35-003-438

VORNADO

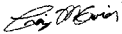
CHARLES E. SMITH

Acknowledgement of Use Permit Submission
400 Army Navy Drive
Arlington, Va. 22203

To Whom It May Concern,

As outlined in the TEMPORARY USE LICENSE AGREEMENT between Vornado/Charles E. Smith L.P. and Balfour Beatty Construction LLC. Dated December 31st, 2015, Balfour Beatty Construction will submit the required "Use Permit" to Arlington County in order to place their temporary construction trailers, parking of vehicles, and store certain permitted construction materials.

Sincerely,



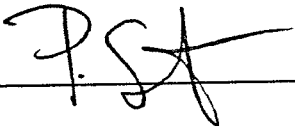
Digitally signed by
Craig McGwier
Date: 2016.02.08
13:49:25-05'00'

Craig McGwier
Senior Project Manager

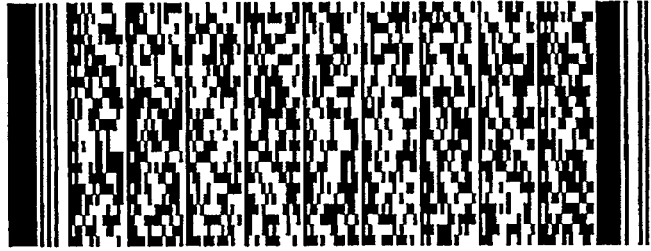
Vornado Acknowledgement

Name (Printed) Paul Sowter

Date 2/08/2016

Signature 

Position Senior Vice President-Development



ARLINGTON COUNTY - COVER SHEET CONTENT

Instrument Date: 11/16/2015
Instrument Type: VACATION
Number of Parcels:
RPC: 35002001
Location: Arlington **Percentage In This Jurisdiction:**
Consideration: **Original Amount:** **Existing Debt:**
Actual/Assessed Value: **Assumption Balance:**
Exemptions:
Instrument Prepared By: Walsh Colucci **Recording Paid By:** Walsh Colucci
Recording Returned To: Walsh Colucci
Address 1: 2200 Clarendon Blvd.
Address 2: Suite 1300
City: Arlington
State: VA
Zip: 22201



20150100025421
 11/17/2015 10:15:43 AM 1/11
 Doc Type: LRVACATION;
 Arlington County Clerk
 Paul Ferguson, Clerk
 Grantor Tax: \$.00
 State Tax: \$.00

Grantor/Grantee:

Name	Corp	Desig Status
Grantor THE COUNTY BOARD OF ARLINGTON COUNTY	No	
Grantee ARLINGTON APARTMENTS L/CAL LLC	Yes	

Grantee #1 Address:
Address 1: **Address 2:**
City: **State:** **Zip:**
Prior Recording At:
Book Number: **Page Number:** **Instrument Number:**
RPC:
Current Property Address:
City: **State:** **Zip:**

10 + 1 + 1P1 +

Prepared by and return to:
H. Mark Goetzman, Esq.
Walsh, Colucci, Lubeley & Walsh, P.C.
2200 Clarendon Blvd, Ste 1300
Arlington, VA 22201
State Bar #29172

RPC NO.: 35002001

DEED OF VACATION

This DEED OF VACATION is made this 16th day of November, 2015, by and between **THE COUNTY BOARD OF ARLINGTON COUNTY, VIRGINIA**, a body corporate and politic ("Grantor"), and **ARLINGTON APARTMENTS L/CAL LLC**, a Delaware limited liability company, Grantee ("Grantee").

RECITALS

- R-1 Grantee is the owner of certain real property located and situated in Arlington County, Virginia, title thereto having been acquired by and conveyed to Grantee by Deed recorded in Deed Book 4636 at Page 1145 (the "Property") in the land records of Arlington County, Virginia (the "Land Records").
- R-2 By Subdivision Plat and Deed of Dedication recorded in Deed Book 271 at Page 326 in the Land Records, Grantor acquired a public right-of-way (the "Existing Public Street").
- R-3 At a regular meeting on January 24, 2015, Grantor enacted an "Ordinance to Vacate a Portion of the Eastern Seventeen and One-Half Foot Wide (17.5 Foot Wide) Portion of Old South Eads Street Dedicated to Arlington County by Subdivision Plat and Deed in Deed Book 271 at Page 326, Running North to South Between the Southern Boundary of Army Navy Drive and the Northern Boundary of 11th Street South, and Abutting the Western Boundary of a Parcel Owned by Arlington Apartments L/Cal LLC (RPC #35-002-001), with Conditions" (the "Ordinance of Vacation"); and
- R-4 That portion of the Existing Public Street being vacated is described as "4,624 Square Feet Portion of South Eads Street D.B. 271 PG. 326 (Hereby Vacated)" ("Vacated Portion"), on a plat entitled "Plat Showing Vacation of a Portion of South Eads Street Deed Book 271, Page 326 Arlington County, Virginia" prepared by Christopher Consultants, Ltd., dated June 24, 2015, and approved by the Arlington County Department of Environmental Services Division of Transportation on July 23, 2015 (the "Plat").
- R-5 Grantee desires to record this Deed of Vacation and the Plat in accordance with the conditions of the Ordinance of Vacation.
- R-6 A certified, true copy of the Ordinance of Vacation and a copy of the Plat are attached hereto and made a part hereof.

VACATION

NOW, THEREFORE, in consideration of the premises and the sum of Ten Dollars (\$10.00) cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor does hereby vacate, surrender and quitclaim unto Grantee, its heirs, successors and assigns all rights, title and interest that Grantor has in the Vacated Portion of the Existing Public Street.

The Recitals set out above are incorporated into this Deed of Vacation.

No representations or statements have been made which would modify, add to or change the terms of this Deed of Vacation.

This Deed of Vacation shall be construed, interpreted, and applied according to the law of the Commonwealth of Virginia.

[Signature(s) on following page]

WITNESS the following signature(s).

COUNTY BOARD OF ARLINGTON COUNTY,
VIRGINIA

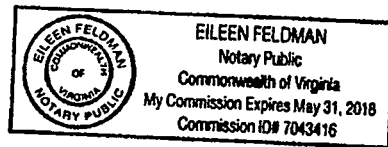
By: [Signature]
Name: Timothy D. O'Hora
Title: ^{Acting} Real Estate Bureau Chief,
Department of Environmental
Services

COMMONWEALTH OF VIRGINIA
COUNTY OF ARLINGTON, to-wit:

^{Acting} The foregoing instrument was acknowledged before me by Timothy D. O'Hora,
the Real Estate Bureau Chief, Department of Environmental Services, on behalf of THE
COUNTY BOARD OF ARLINGTON COUNTY, VIRGINIA, this 16th day of
November, 2015.

[Signature]
Notary Public

My Commission Expires: May 31, 2018
Notary ID #: 7043416



APPROVED AS TO FORM:

[Signature]
County Attorney



HOPE HALLECK
CLERK TO THE
COUNTY BOARD

ARLINGTON COUNTY, VIRGINIA OFFICE OF THE COUNTY BOARD

2100 CLARENDON BOULEVARD, SUITE 300
ARLINGTON, VIRGINIA 22201-5406
(703) 228-3130 • FAX (703) 228-7430
E-MAIL: countyboard@arlingtonva.us



MEMBERS
MARY HYNES
CHAIR
J. WALTER TEJADA
VICE CHAIRMAN

JAY FISETTE
LIBBY GARVEY
JOHN E. VIHSTADT

CERTIFICATION

A Regular Meeting of the County Board of Arlington County, Virginia, held in Room 307 of 2100 Clarendon Boulevard thereof on Saturday, January 24, 2015 at 8:31 a.m.

PRESENT: MARY HYNES, Chair
J. WALTER TEJADA, Vice Chairman
JAY FISETTE, Member
LIBBY GARVEY, Member
JOHN E. VIHSTADT, Member

ALSO PRESENT: BARBARA M. DONNELLAN, County Manager
STEPHEN MacISAAC, County Attorney
HOPE L. HALLECK, Clerk

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33. 400 ARMY NAVY DRIVE

- A. Consideration of adoption of an Amendment to the Arlington County Comprehensive Plan's Master Transportation Plan Map to add a portion of 11th Street South located within the block defined by Army Navy Drive, 11th Street South and South Eads Street.
- B. Z-2577-14-1 Rezoning from "C-O" Commercial Office Building, Hotel and Multiple-Family Dwelling District to "C-O-Crystal City" Commercial Office Building, Retail, Hotel and Multiple-Family Dwelling District, located at 400 Army Navy Drive (RPC# 35-002-001).
- C. SP #2 Site Plan Amendment for Arlington Apartments L/CAL LLC for a final site plan amendment to permit the construction of an approximately 491,936 square foot building consisting of 453 multiple-family residential units with modifications of zoning ordinance requirements to include: parking, and other modifications as necessary to achieve the proposed development plan; located at 400 Army Navy Drive (RPC# 35-002-001).
- D. Vacation of a Portion of the Eastern Seventeen and One-Half Foot Wide (17.5 Foot Wide) Portion of Old South Eads Street Dedicated to the County by Subdivision Plat and Deed of Dedication, Recorded in Deed Book 271 at Page 326, Running North to South Between the Southern Boundary of Army Navy Drive and the Northern Boundary of 11th Street South, and Abutting the Western Boundary of a Parcel Owned by Arlington Apartments L/Cal LLC (RPC #35-002-001), with Conditions.

- E. Abandonment as a Public Street a Portion of the Western Seventeen and One-Half Foot Wide (17.5 Foot Wide) Portion of Old South Eads Street Dedicated to the County by Subdivision Plat and Deed of Dedication Recorded in Deed Book 271 at Page 326, Running North to South Between the Southern Boundary of Army Navy Drive and the Northern Boundary of 11th Street South, and Between, and abutting, the Eastern Seventeen and One-half Foot Wide (17.5 Foot Wide) Portion of Old South Eads Street and a Twenty Foot Wide (20 Foot Wide) Portion of Old South Eads Street, to the West, Dedicated to the County in Deed Book 1064 at Page 98, such 17.5 Foot Wide Portion Near the Western Boundary of a Parcel Owned by Arlington Apartments L/Cal LLC, RPC #35-002-001, with Conditions.

Following a duly advertised public hearing at which there were speakers, a motion was made by MARY HYNES, Chair, seconded by J. WALTER TEJADA, Vice Chairman to:

1. Adopt the attached resolution to approve an amendment to the Master Transportation Plan to add a portion of 11th Street South located within the block defined by Army Navy Drive, 11th Street South and South Eads Street.
2. Adopt the attached ordinance to approve the rezoning request for the subject property from "C-O" Commercial Office Building, Hotel and Multiple-Family Dwelling District to the "C-O-Crystal City" Commercial Office Building, Retail, Hotel and Multiple-Family Dwelling District.
3. Adopt the attached ordinance to approve an amendment to Site Plan #2 to permit development of an approximately 491,936 square foot building consisting of 453 multiple-family residential units with modifications of zoning ordinance requirements to include: parking, and other modifications as necessary to achieve the proposed development plan.
4. Enact the attached Ordinance to Abandon as a Public Street a Portion of the Western Seventeen and One-Half Foot Wide (17.5 Foot Wide) Portion of Old South Eads Street Dedicated to the County by Subdivision Plat and Deed or Dedication Recorded in Deed Book 271 at Page 326, Running North to South Between the Southern Boundary of Army Navy Drive and the Northern Boundary of 11th Street South, and Between, and abutting, the Eastern Seventeen and One-half Foot Wide (17.5 Foot Wide) Portion of Old South Eads Street and a Twenty Foot Wide (20 Foot Wide) Portion of Old South Eads Street, to the West, Dedicated to the County in Deed Book 1064 at Page 98, such 17.5 Foot Wide Portion Near the Western Boundary of a Parcel Owned by Arlington Apartments L/Cal LLC, RPC #35-002-001, with Conditions.
5. Authorize the Real Estate Bureau Chief, Department of Environmental Services, or his designee, to execute and/or record, on behalf of the County Board, any deeds or documents necessary to effectuate the Ordinance to abandon as a Public Street, subject to approval as to form by the County Attorney.
6. Enact the attached Ordinance to Vacate a Portion of the Eastern Seventeen and One-Half Foot Wide (17.5 Foot Wide) Portion of Old South Eads Street Dedicated to the County by Subdivision Plat and Deed of Dedication, Recorded in Deed Book 271 at Page 326, Running North to South Between the Southern Boundary of Army Navy Drive and the Northern Boundary of 11th Street South, and Abutting the Western Boundary of a Parcel Owned by Arlington Apartments L/Cal LLC (RPC #35-002-001), with Conditions.
7. Authorize the Real Estate Bureau Chief, Department of Environmental Services, or his designee, to execute, on behalf of the County Board, the Deed of Vacation, and all other documents necessary to effectuate the Ordinance of Vacation, subject to approval as to form by the County Attorney.

[Clerk's note: as set forth in the documents entitled "Addendum-1-24-15-H-400 Army Navy Drive-1 and 2" attached for the public record to these minutes.]

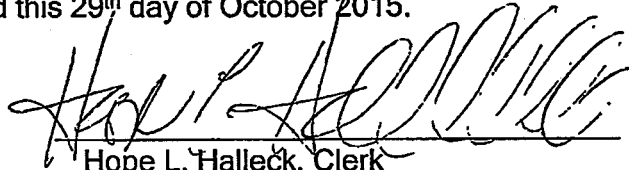
The motion was adopted and carried by a vote of 5 to 0. The voting recorded as follows: MARY HYNES, Chair – Aye, J. WALTER TEJADA, Vice Chairman – Aye, JAY FISETTE, Member, LIBBY GARVEY, Member – Aye and JOHN E. VIHSTADT, Member – Aye.

oooo0ooooo

CERTIFICATION

I hereby certify that the above is a true and correct copy of an excerpt from the approved minutes of the January 24, 2015 Regular Meeting of the County Board of Arlington.

Given under my hand this 29th day of October 2015.

A handwritten signature in black ink, appearing to read 'Hope L. Halleck', written over a horizontal line.

Hope L. Halleck, Clerk
Arlington County Board

[SEAL]

ATTACHMENT 1

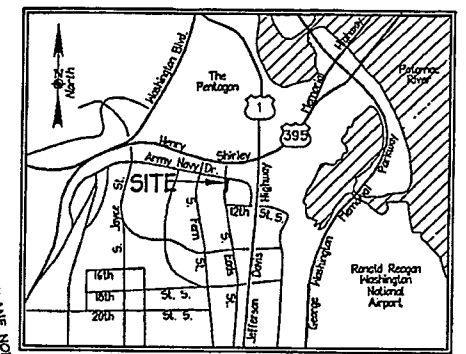
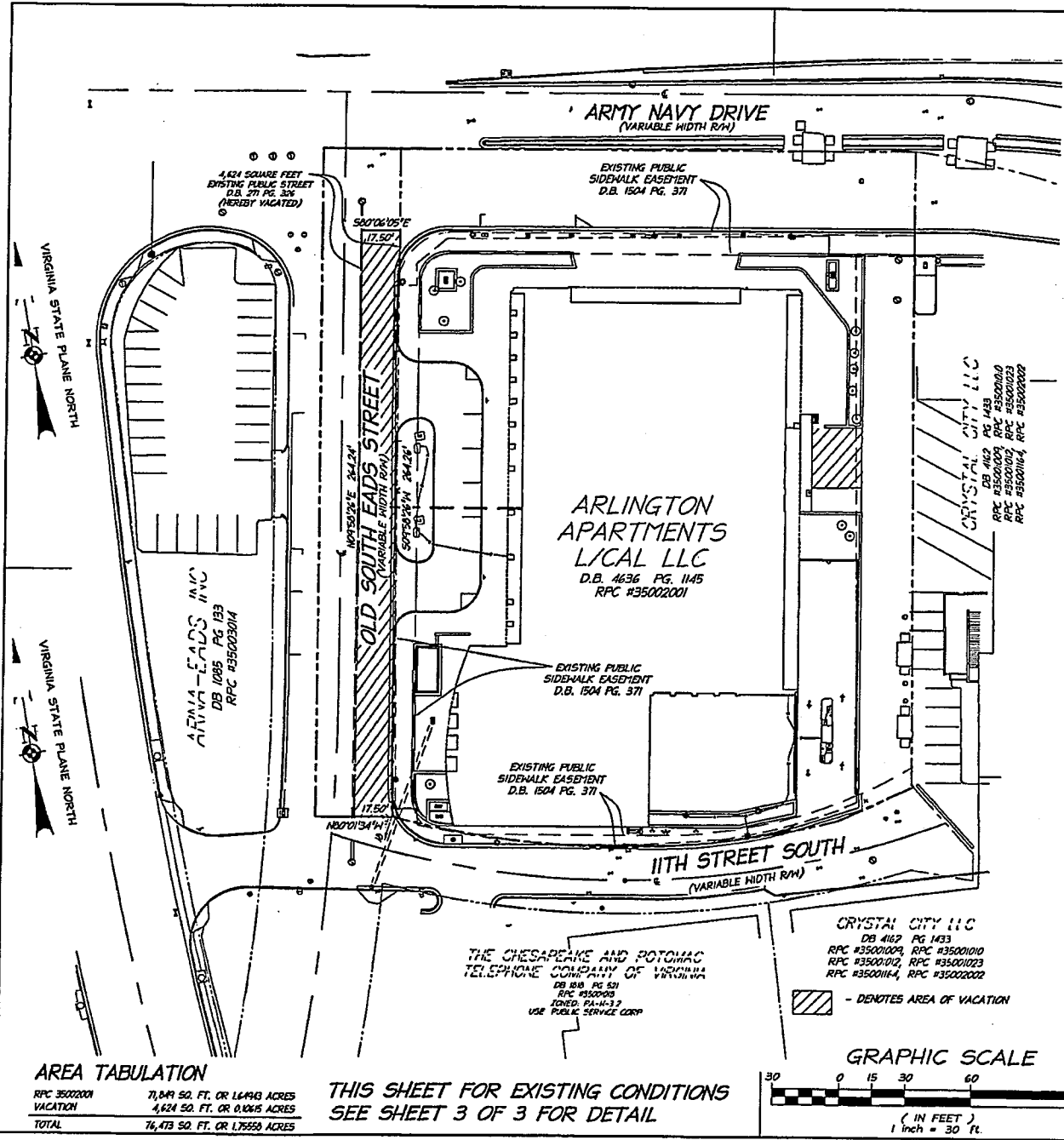
ORDINANCE TO VACATE A PORTION OF THE EASTERN SEVENTEEN AND ONE-HALF FOOT WIDE (17.5 FOOT WIDE) PORTION OF OLD SOUTH EADS STREET DEDICATED TO ARLINGTON COUNTY BY SUBDIVISION PLAT AND DEED IN DEED BOOK 271 AT PAGE 326, RUNNING NORTH TO SOUTH BETWEEN THE SOUTHERN BOUNDARY OF ARMY NAVY DRIVE AND THE NORTHERN BOUNDARY OF 11TH STREET SOUTH, AND ABUTTING THE WESTERN BOUNDARY OF A PARCEL OWNED BY ARLINGTON APARTMENTS L/CAL LLC (RPC #35-002-001), WITH CONDITIONS.

BE IT ORDAINED that, pursuant to a request by Arlington Apartments L/CAL LLC, Owner/Applicant ("Applicant"), on file with the Department of Environmental Services, a portion of the seventeen and one-half foot wide (17.5 foot wide) portion of the existing right-of-way for Old South Eads Street ("Vacated Street Portion"), created by a subdivision plat and deed recorded among the Arlington County Land Records ("Land Records") in Deed Book 271 at Page 326, running north to south between the southern boundary of Army Navy Drive and the northern boundary of 11th Street South and located abutting the western boundary of property owned by Arlington Apartments L/Cal LLC, RPC #35-002-001, and shown as "4,624 Square Feet Existing Public Street D.B. 271 PG. 326 (Hereby Vacated)" on a plat attached to the County Manager's Report dated January 5, 2015 as Exhibit A, entitled "Plat Showing Street Vacation South Eads Street, Deed Book 271, Page 326, Arlington County, Virginia," dated October 27, 2014 and prepared by christopher consultants, ltd. ("Plat") is hereby vacated, subject to the following conditions having first been fully satisfied:

1. The Applicant shall submit, for review and approval, to the Department of Environmental Services ("DES"), a utility relocation and engineering design plan ("Plan") for the construction, abandonment, relocation, removal, and/or replacement of all utilities located, in whole or in part, within the Vacated Street Portion vacated by this Ordinance of Vacation. The Plan shall be subject to approval by the Director of DES, or his designee.
2. After approval of the Plan and before commencing the work described therein, the Applicant shall submit to the Director of DES, or his designee, a bond, letter of credit, or other security, acceptable to the County Manager, in an amount and in a form as determined by and acceptable to the County Manager, or her designee, to secure the construction, abandonment, relocation, removal, and/or replacement of any and all existing utilities pursuant to the approved Plan.
3. The Applicant shall remove, relocate, abandon and/or reconstruct, or cause to be removed, relocated, abandoned and/or reconstructed, at its sole cost and expense, all utilities of the County and of others existing, required by the Plan approval, within the Vacated Street Portion including, but not limited to, sanitary sewer lines, storm sewer lines, water lines and any electric, gas and communication lines. All utilities removed or abandoned shall be relocated or reconstructed with new utilities and related appurtenant

facilities of size, dimension and location acceptable to the County, in accordance with the approved Plan and in strict accordance with Arlington County Construction Standards and Specifications, and all applicable laws, ordinances, regulation and policies, and as provided in Site Plan #2, as approved by the County Board.

4. The Applicant shall dedicate and convey to the County Board, without compensation, all new utility easements, required by the County Manager, by deed, in substance acceptable to the County Manager and approved as to form by the County Attorney. In addition, and if applicable, the Applicant shall obtain all required right-of-way permits at the Applicant's sole cost and expense, needed to perform any work required herein.
5. The Applicant shall prepare and submit to the County for review and approval, the Deed of Vacation and all other deeds required by this Ordinance, along with all required plats. Such deeds and plats shall be subject to the approval by the County Manager, or her designee, as to substance, and approval of the deeds as to form the County Attorney. The Real Estate Bureau Chief is authorized to accept, on behalf of the County Board, the Deed of Conveyance and Deeds of Easement.
6. The Applicant shall pay all fees, including the fees for plat review, approval and recordation of the Deed of Vacation and all other deeds associated with the Ordinance of Vacation.
7. The Applicant shall pay to the County the sum of \$63,128.00 as compensation for the portion of the Vacated Street Area retained by the Applicant and not conveyed to the County.
8. No sooner than thirty (30) days after enactment of this Ordinance of Vacation, the Applicant shall record a copy of this Ordinance among the Land Records. The Applicant also shall record, at the Applicant's sole cost and expense, the Deed of Vacation and all other required deed(s) and plats.
9. All conditions of the Ordinance of Vacation shall be met before recordation of the Deed of Vacation. All conditions of the Ordinance of Vacation shall be met by noon on January 24, 2018 or this Ordinance of Vacation shall become null and void, without the necessity for any further action by the County Board.



VICINITY MAP
SCALE: 1" = 2000'

NOTES:

1. THE PUBLIC STREET DELINEATED ON THIS PLAT WAS ACQUIRED IN DEED BOOK 271 AT PAGE 326.
2. THE PROPERTY SHOWN HEREON IS LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 51500 001 B, EFFECTIVE DATE MAY 3, 1982. BY GRAPHICALLY DEPICTION ONLY, THE PROPERTY SHOWN HEREON IS SHOWN IN FLOOD ZONE "C", AREAS OF MINIMAL FLOODING.
3. NO TITLE REPORT FURNISHED.

SURVEYOR'S CERTIFICATE

I, KERRY L. SKINNER, A DULY LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT THE PUBLIC STREET DELINEATED ON THIS PLAT WAS ACQUIRED IN DEED BOOK 271 AT PAGE 326, AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.

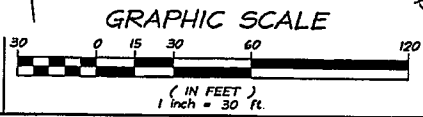
I FURTHER CERTIFY THAT I HAVE CAREFULLY PLATTED THE PROPERTY AND EASEMENTS SHOWN HEREON AND THAT THIS PLAT IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

GIVEN UNDER MY HAND THIS _____ DAY OF _____



PLAT SHOWING
STREET VACATION
SOUTH EADS STREET
DEED BOOK 271, PAGE 326
ARLINGTON COUNTY, VIRGINIA
SCALE: 1"=30' DATE: 10/27/14 REV:

christopher consultants
ENGINEERING SURVEYING & PLANNING
10170 WOODBURN DRIVE, SUITE 100
ARLINGTON, VA 22204
TEL: 703.441.1111 FAX: 703.441.1112



AREA TABULATION

RPC #35002001	71,849 SQ. FT. OR 1.6493 ACRES
VACATION	4,624 SQ. FT. OR 0.10615 ACRES
TOTAL	76,473 SQ. FT. OR 1.7555 ACRES

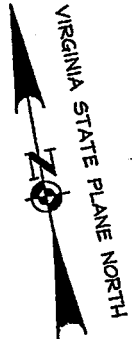
**THIS SHEET FOR EXISTING CONDITIONS
SEE SHEET 3 OF 3 FOR DETAIL**

Addendum-1-24-15-1-400 Page 142

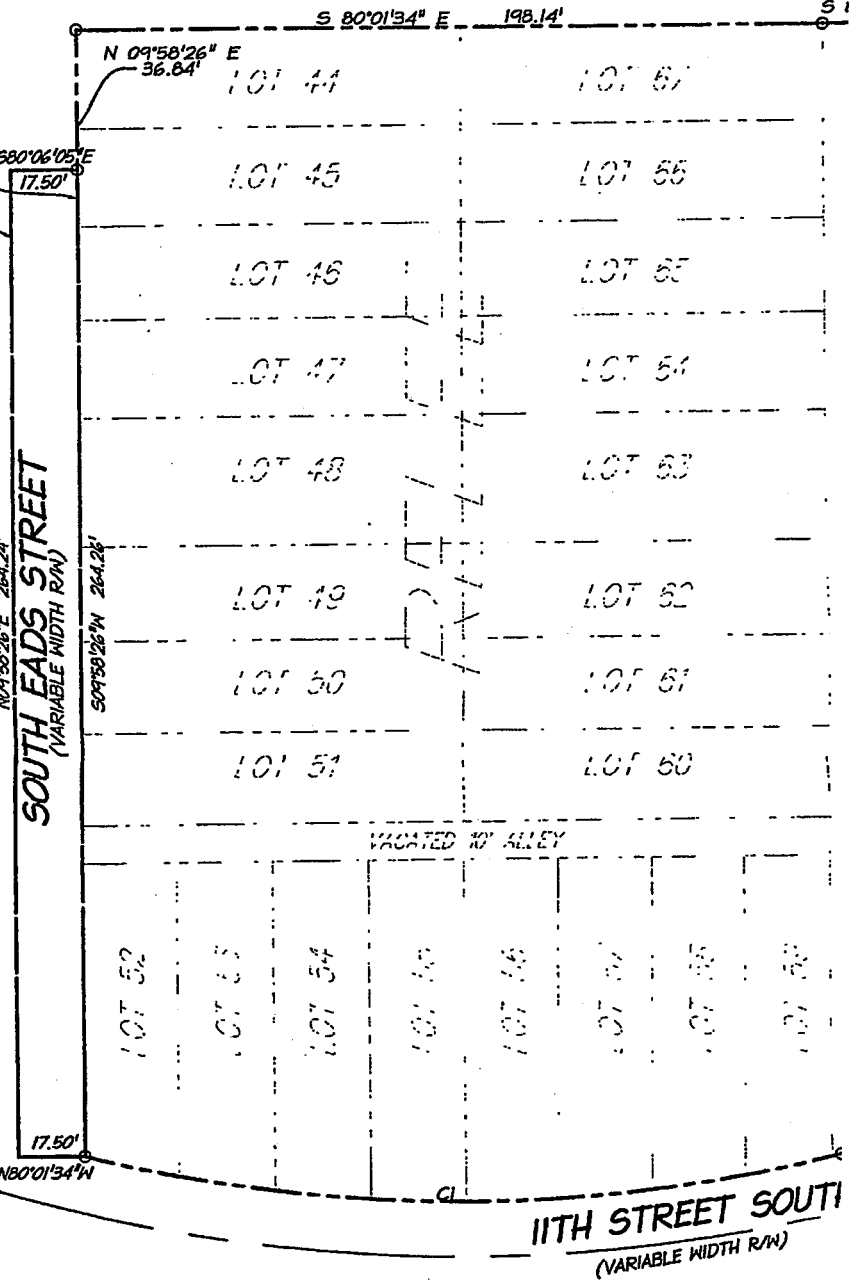
P:\Projects\900201\900201.dwg, 1/13/2015 3:31:12 PM, gskinner\skinner, 0:11, christopher consultants, LLC

(1)

4,624 SQUARE FEET
PORTION OF SOUTH
EADS STREET
D.B. 271 PG. 326
(HEREBY VACATED)



ARMY NAVY DRIVE
(VARIABLE WIDTH R/W)



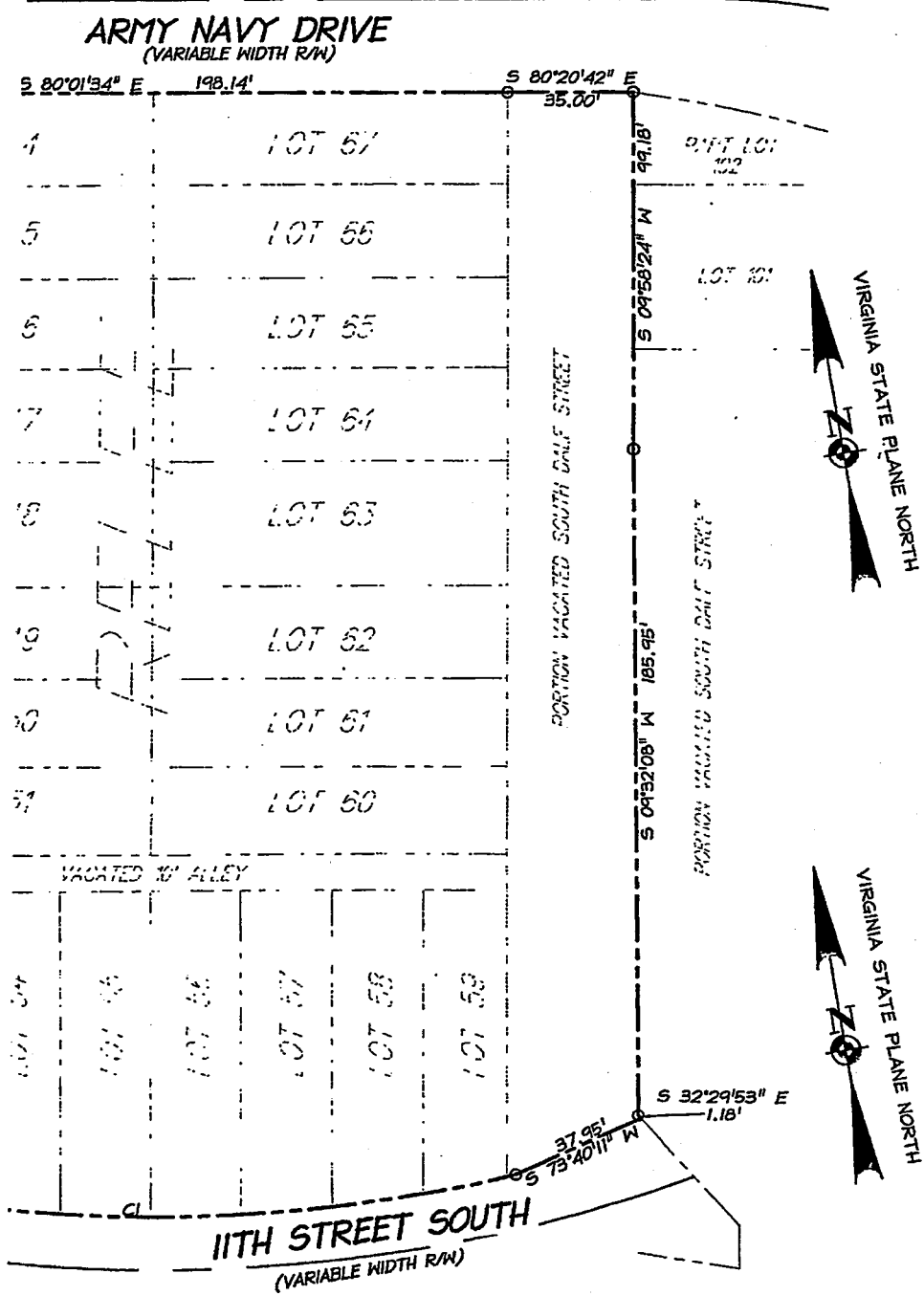
D:\001\1002005\mwp\Plat\Vacatbom103073 Vacation plat.dwg, 7/21/2015 2:15:22 PM, richardherman

**ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES
DIVISION OF TRANSPORTATION**

RECOMMENDED FOR APPROVAL: 7-23-2015 APPROVED: 7-23-2015

Bruce Woodhams *Eric Heber*
SUBDIVISION AND BONDS ADMINISTRATOR

(2)



NOTES:

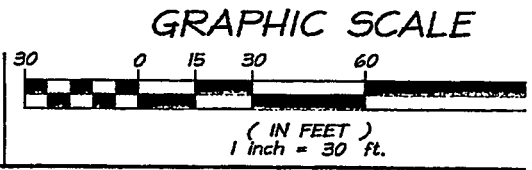
1. THE PROPERTY SHOWN PANEL NO. 515520 001C PROPERTY SHOWN HERE
2. NO TITLE REPORT F
3. THE PROPERTY DELINEATION IDENTIFICATION MAP 35002001.
4. THESE PROPERTIES, SEVENTEEN AND ONE DEDICATED TO ARLINGTOM 326, RUNNING NORTH THE NORTHERN BOUNDARY PARCEL OWNED BY THE CC ENACTED BY THE CC
5. THESE PROPERTIES, BOARD OF ARLINGTOM 2015, AND APPROVAL BY THIS SITE PLAN, #2 IS ON FILE IN THE

MENTAL SERVICES

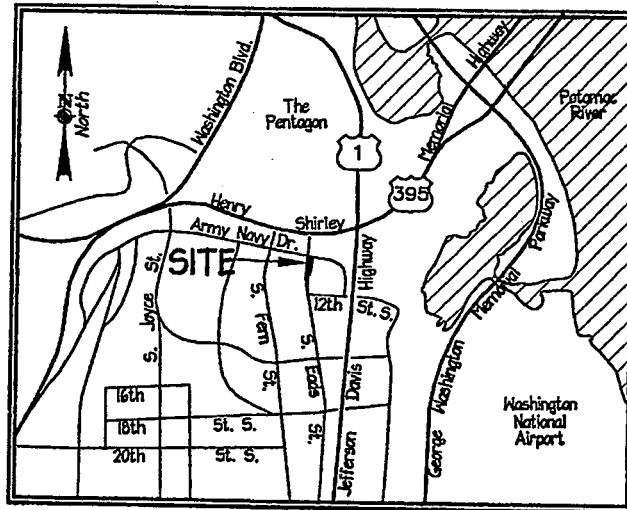
23-2015

[Signature]

ADMINISTRATOR

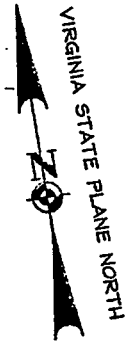


(3)



VICINITY MAP

SCALE: 1" = 2000'

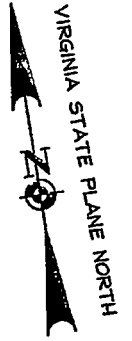


CURVE TABLE:

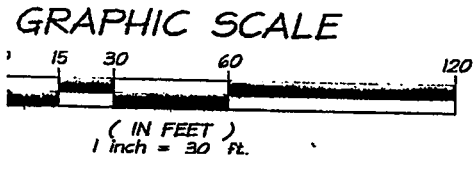
CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.59'	28°16'56"	103.40'	S 79°50'34" E	200.54'

NOTES:

1. THE PROPERTY SHOWN HEREON IS LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 515520 0010 B, EFFECTIVE DATE MAY 3, 1982. BY GRAPHICALLY DEPICTION ONLY, THE PROPERTY SHOWN HEREON IS SHOWN IN: FLOOD ZONE 'C', AREAS OF MINIMAL FLOODING.
2. NO TITLE REPORT FURNISHED.
3. THE PROPERTY DELINEATED HEREON APPEARS ON ARLINGTON COUNTY REAL PROPERTY IDENTIFICATION MAP NUMBER 75-3 IS ADJACENT TO REAL PROPERTY CODE (RPC) NUMBER 35002001.
4. THESE PROPERTIES ARE SUBJECT TO AN 'ORDINANCE TO VACATE A PORTION OF THE EASTERN SEVENTEEN AND ONE HALF FOOT WIDE (17.5 FOOT WIDE) PORTION OF OLD SOUTH EADS STREET DEDICATED TO ARLINGTON COUNTY BY SUBDIVISION PLAT AND DEED IN DEED BOOK 271 AT PAGE 326, RUNNING NORTH TO SOUTH BETWEEN THE SOUTHERN BOUNDARY OF ARMY NAVY DRIVE AND THE NORTHERN BOUNDARY OF 11TH STREET SOUTH, AND ABUTTING THE WESTERN BOUNDARY OF A PARCEL OWNED BY ARLINGTON APARTMENTS L/CAL LLC, (RPC #35-002-001), WITH CONDITIONS', ENACTED BY THE COUNTY BOARD OF ARLINGTON COUNTY, VIRGINIA ON JANUARY 24, 2015
5. THESE PROPERTIES ARE SUBJECT TO THE CONTROL OF SITE PLAN #2 APPROVED BY THE COUNTY BOARD OF ARLINGTON COUNTY, VIRGINIA ON DECEMBER 16, 1961, AND AMENDED ON JANUARY 24, 2015, AND APPROVAL OF THIS PLAT NEITHER ENLARGES NOR REDUCES THE OBLIGATIONS IMPOSED BY THIS SITE PLAN, AND ANY AMENDMENTS, AS THEY RELATE TO THESE PROPERTIES. SITE PLAN #2 IS ON FILE IN THE OFFICE OF THE ZONING ADMINISTRATOR OF ARLINGTON COUNTY, VIRGINIA.



PLAT SHOWING
**VACATION OF A PORTION OF
 SOUTH EADS STREET**
 DEED BOOK 271 AT PAGE 326
 ARLINGTON COUNTY, VIRGINIA
 SCALE: 1"=30" DATE: 06/24/15



christopher consultants
 engineering surveying land planning
 christopher consultants, ltd.
 9417 Innovation drive, manassas, virginia 20110
 703.363.8887 • fax 703.363.9070

TEMPORARY USE LICENSE AGREEMENT

This License Agreement ("License") is made as of this 31 day of 12, 2015 by and between, 1101 FERN STREET, INC., a Delaware corporation, its successors and assigns, having a place of business and mailing address c/o Vornado/Charles E. Smith L.P., 2345 Crystal Drive, Suite 1100, Arlington, Virginia 22202 (hereinafter referred to as the "Licensor") and Balfour Beatty Construction, LLC., 11325 Random Hills Road, Suite 500, Fairfax, VA 22030 (hereinafter referred to as the "Licensee").

WITNESSETH

WHEREAS, the Licensor is the owner of and as set forth in Exhibit A attached hereto (the "Property"); and

WHEREAS, the Licensee has requested permission to utilize certain portions of the Property designated as (collectively the "Designated Area") as set forth in Exhibit B attached hereto; and

WHEREAS, the Licensor is willing to grant such permission but only on and subject to the terms and conditions set forth herein.

NOW THEREFORE, for good and valuable consideration had and exchanged, including these presents, the receipt and sufficiency of which is hereby acknowledged, and intending to be legally bound hereby, the parties hereto agree as follows:

1. License. The Licensor hereby grants to Licensee the right to use the Designated Area and common driveways of the Property for access, ingress, egress and regress as follows: (1) Area 1 to park private automobiles and light duty trucks of Licensee's employees and subcontractors, maintain temporary office trailers, maintain temporary material storage trailers, and store certain permitted construction materials; (2) Area 2 to park private automobiles and light duty trucks of Licensee's employees and subcontractors only. The Designated Area may not be used for any other purpose without the express written permission of Licensor. Licensee shall implement a vehicle permit system acceptable to Licensor, and enforce such system to the satisfaction of Licensor, including contracting with a towing company to regularly remove any vehicles from the Designated Area and Property that are not allowed by the terms of this License.

2. Illegal Use. Licensee shall not use or permit the Designated Area or any part thereof to be used for any disorderly, unlawful or hazardous purpose nor for any other purpose than hereinbefore specified and shall not manufacture any commodity therein. In particular, Licensee shall not use any portion of the Designated Area for the dumping or storage of dirt or refuse.

3. Term. The term of this License shall commence on (the "Commencement Date"), which will be the date of full execution of this document, and shall continue on a month to month basis until terminated by either party. Notwithstanding the foregoing, Licensor may terminate this License, at any time and for any reason or for no reason, by giving not less than thirty (30) days prior written notice to the Licensee. Upon any termination of this License, Licensee agrees to immediately surrender possession of the Designated Area and remove all Vehicles therefrom, without any notice to quit, all notice to quit which may or might be required by law, now or in the future, being hereby expressly waived by Licensee.

4. License Fee. In consideration of the Licensor granting the license to park the Vehicles in the Designated Area, the Licensee shall pay to Licensor a license fee as follows:

an annual License Fee in the annualized amount of Twelve Thousand and 00/100 Dollars (\$12,000.00), which shall be paid in equal monthly installments of One Thousand and 00/100 Dollars (\$1,000.00) (the "License Fee").

The License Fee shall be due and payable to the Licensor as set forth above, in advance, on the first day of each month during the Term without demand. If any monthly License Fee required to be paid by Licensee is not paid within five (5) days after the date such payment is due, then in addition to paying the amount of monthly License Fee then due and in addition to Licensor's other remedies as provided by law or this License, Licensee shall pay to Licensor a late charge equal to five percent (5%) of the amount of monthly License Fee (the "Late Charge"). Payment of such Late Charge shall not excuse the untimely payment of the monthly License Fee. If necessary, the License Fee for the first and last months of the Term hereof shall be prorated.

5. (a) Liability Insurance. During the License Term, Licensee, at its sole cost and expense shall maintain public liability and property damage insurance ("Commercial General Liability") which includes coverage for bodily injury, personal injury and death, property damage, advertising injury, completed operations and products coverage, with at least a single combined liability and property damage limit of Five Million and 00/100 Dollars (\$5,000,000.00) insuring against all liability of Licensee and its authorized representatives arising out of or in connection with Licensee's use of the Designated Area. Licensor and Licensor's managing agent shall be named as additional insureds. The additional insured status shall not extend to the negligence of the additional insureds.

(b) Fire and Casualty Insurance. During the License Term, Licensee at its cost shall maintain fire and extended coverage insurance on all Licensee's contents of the Designated Area, including Licensee's property, in an amount sufficient so that no coinsurance penalty will be applied in case of loss.

(c) Policy Requirements. All insurance required under this License shall be issued by insurance companies authorized to do business in the Commonwealth of Virginia. Such companies shall have a policyholder rating of at least "A" and be assigned a financial size category of at least "Class XII" as rated in the most recent edition of "Best's Key Rating Guide" for insurance companies. If at any time during the License Term the rating of any of Licensee's insurance carriers is reduced below the rating required pursuant to the terms hereof, Licensee shall promptly replace the insurance coverage(s) maintained with such carrier with coverage(s) from a carrier whose rating complies with the foregoing requirements. If the Best's Key Rating Guide is discontinued or revised without substitution of a comparable rating system, Licensor shall reasonably determine its satisfaction with the insurance company issuing Licensee's policies. Each policy shall contain an endorsement requiring thirty (30) days written notice from the insurance company to Licensor before cancellation or any change decreasing coverage, scope or amount of such policy and an endorsement naming Licensor as an additional insured. Certificates of insurance evidencing all coverages specified in this License shall be furnished by Licensee and Licensee's contractors to Licensor upon return of this License, fully executed. Current active certificates of insurance shall be similarly submitted as required to document continuous coverage as specified herein. These certificates shall contain a provision that the insurance coverages afforded under the policies shall not be materially modified or cancelled until at least thirty (30) days prior written notice of intent to so modify or cancel had been delivered to Licensor. Certificates of insurance evidencing Commercial General Liability or Excess and Umbrella Liability, shall name Licensor as "Additional Insured". Certificates of insurance evidencing property damage shall designate Licensor as "Loss Payee" as Licensor's interest may appear. Licensee and its contractors must each maintain separate liability coverage to the full minimum limits required.

6. Indemnity and Hold Harmless. Licensee shall indemnify Licensor and its members, officers, directors, agents, employees and representatives and save them harmless from and against any and all claims, actions, damages, liabilities and expenses whatsoever and of every kind in connection with loss of life, personal injury and/or damage to property to the extent caused by Licensee or anyone for whom Licensee is responsible (i) arising from or out of any occurrence in, upon or at the Property and the Designated Area occasioned wholly or in part by any act or omission of the Licensee, its agents, contractors, employees, servants, invitees or licensees whether inside the Designated Area or elsewhere on the Property, or (ii) arising from or out of the occupancy or use by Licensee of the Designated Area or any part thereof. In the event that Licensor or its agents and employees shall, without fault on its or their part, be made a party to any litigation commenced by or against Licensee, then Licensee shall protect and hold the same harmless and shall pay all costs, expenses and reasonable attorneys' fees incurred or paid in connection with such litigation. Licensee hereby waives all claims against Licensor and its agents, officers, members, representatives, directors and employees for any and all losses, damages or costs arising from (i) the necessity of maintaining or repairing any portion of the Designated Area; (ii) any interruption in the use of the Designated Area; or (iii) any other cause whatsoever. Any goods, property or personal effects stored or placed in the Designated Area shall be at the sole risk of Licensee. The provisions of this Section 6 shall survive the termination of this License.

(a) In the event Licensee is restricted from accessing the Designated Area for more than thirty (30) days due to (i) acts of the Licensor or (ii) instructions of government authorities, Licensee shall not be responsible for the License Fee during such period, and Licensee shall have the option of terminating the License upon ten (10) days prior written notice to Licensor.

7. Default.

(a) Failure of Licensee to comply with or perform any covenant or obligation of Licensee under this License shall constitute a default by Licensee (a "Default") under this License.

(b) Upon the occurrence of a Default, Licensor shall have the right, then or at any time thereafter:

(1) Without demand or notice, to reenter and take possession of all or any part of the Designated Area, to expel Licensee and those claiming through Licensee and to remove any property therein, either by summary proceedings or by any other action at law, in equity or otherwise, with or without terminating this License, without being deemed guilty of trespass and without prejudice to any other remedies of Licensor for breach of this License, and/or;

(2) To give Licensee written notice of Licensor's intent to terminate this License, and on the date specified in Licensor's notice, Licensee's right to possession of the Designated Area shall cease and this License shall terminate.

(c) If Licensor terminates this License or reenters the Designated Area (with or without terminating this License), Licensee shall remain liable (in addition to all other liabilities of Licensee accrued at the time of the Default) for the sum of (i) any unpaid License Fee or other amounts accrued prior to the time of termination and/or reentry, as the case may be, plus interest thereon from the due date at the Default Rate (as hereinafter defined), (ii) all License Fees provided for in this License from the time of termination and/or reentry, as the case may be, until the date this License would have expired had a Default not occurred, (iii) any and all expenses (including but not limited to attorneys' fees) incurred by Licensor in reentering and repossessing the Designated Area, in correcting any default, and (iv) any other amounts necessary to compensate Licensor for any other damages caused by the Default.

(d) If Licensee defaults in the making of any payment or in the doing of any act required to be made or done by Licensee under this License, then Licensor may, at its option, make such payment or do such act, and the expenses thereof, with interest thereon at the rate of interest which is the lesser of (i) eighteen percent (18%) per annum or (ii) the maximum rate permitted by law (such applicable rate being referred to as the "Default Rate"), from the date paid by Licensor, shall due and payable by Licensee upon demand from Licensor.

(e) Licensee's liability pursuant to this Section 7 shall survive the termination of this License, the institution of summary proceedings and/or the issuance of a warrant thereunder.

8. As Is. Licensee accepts the Designated Area "as is" and acknowledges that Licensor is under no obligation to make any improvements to the Designated Area. The use of the Designated Area by Licensee shall constitute an acknowledgment by Licensee that Licensor has fulfilled its requirements for delivery of the Designated Area under this License. Licensee is solely responsible for obtaining electrical hook-up as well as connections to all other utilities required by Licensee by arrangement directly with the providers thereof. Licensee shall pay the full amount of the cost and consumption of service of all utilities directly to the providers thereof in a prompt and timely manner. Licensee is solely responsible for all costs and expenses with respect to its use of the Property (including, but not limited to, the cost of all licenses and permits, refuse removal and police, fire and life safety protection).

9. Routine Maintenance and Repair. Licensee shall cause any and all maintenance and repairs to be made to the Designated Area as may be necessary or appropriate from time to time to keep the Designated Area in its existing condition. Further, Licensee agrees to keep the Designated Area clean and free and clear of all trash and debris, and to remove any dirt, trash or debris which it has placed on the property during the term of this or any prior License Agreement, if so required by Licensor or by any competent governmental authority.

10. Hazardous Materials. In addition to all of Licensee's obligations set forth herein, Licensee shall not use or permit the use of the Designated Area for any activity involving, directly or indirectly, the use, generation, treatment, storage or disposal of any hazardous substance. For purposes of this Section 10, "hazardous substance" shall mean any (i) "hazardous waste" as defined by the Resource Conservation and Recovery Act of 1976, as amended from time to time, and regulations promulgated thereunder; (ii) "hazardous substance", as defined by the Comprehensive Environmental Response, Compensation and Liability Act of 1980, as amended from time to time, and the regulations promulgated thereunder; and (iii) any substance, the presence of which on the Designated Area is prohibited by any law similar to those set forth in this section, including but not limited to asbestos, polychlorinated biphenyls (PCBs), petroleum products and lead-based paints. Licensee agrees to indemnify and hold Licensor, its agents, employees, representatives, officers and directors harmless from any and all costs, expenses, losses, actions, suits, claims, judgments, and other liability whatsoever in connection with a breach by Licensee of any federal, state or local environmental protection laws and regulations.

11. Mechanics' Liens. If any mechanics' lien is filed against the Property or the Designated Area, as a result of services performed or materials furnished in connection with Licensee's performance of maintenance or repair work under this License or otherwise, Licensee agrees to cause that lien to be discharged within fifteen (15) days of receipt of notice of the entry of the lien. Licensee agrees to promptly cause such lien to be released and discharged of record, either by paying the indebtedness which gave rise to such lien or by posting bond or other security as shall be required by law to obtain such release and discharge.

12. Third-Party Beneficiaries. No third parties shall have any right, benefit, or interest under, or because of the existence of this License. No right granted herein shall be deemed to be a gift or dedication to or for the general public or for any public purpose whatsoever, it being the intention of the parties to this License that this License shall be strictly limited to and for the purposes expressed in this License.

13. Compliance with Laws. Licensee shall obtain any and all necessary licenses and permits, and provide copies of same to Owner. Licensee understands and acknowledges that Owner has made no representations or warranties regarding Licensee's ability to use the Designated Area or any portion thereof for Licensee's intended use, and Licensee's inability to do so shall in no way impair the validity of this License or any provision hereof. Licensee shall comply, at its sole cost and expense, with all orders, requirements and conditions now or hereafter imposed by any ordinances, laws, orders and/or regulations (hereinafter collectively called "regulations") of any governmental body having jurisdiction over the Designated Area or the Property. Licensee shall pay all costs, expenses, fines, penalties, or damages that may be imposed on Licensor or Licensee by reason of Licensee's failure to comply with any such regulations as regarding the Designated Area.

14. Licensor's Access to Designated Area. Licensee agrees that upon forty-eight (48) hours' prior notice to Licensee, Licensee shall provide access to Licensor to conduct pre-development site activities on the Designated Area including but not limited to soil borings, environmental testing, survey, utility locations, etc. Licensee agrees to permit Licensor to perform these activities in various portions of the Designated Area from time-to-time and further agrees not to park any Vehicles in the area designated by Licensor for pre-development activities. The performance of these pre-development site activities by Licensor shall not cause any reduction in the License Fee owed by Licensee under the License. In addition, Licensee agrees that provided Licensee does not adversely impact Licensee's use of the Designated Area, Licensor, its agents, employees and contractors shall have the right to enter upon the Designated Area at all times (a) to make inspections or to make such repairs and maintenance to the Designated Area as Licensor may deem necessary; (b) to exhibit the Designated Area to prospective tenants, consultants, contractors, etc.; and (c) for any purpose whatsoever relating to the safety, protection, preservation or development of the Property and/or the Designated Area.

15. Successors and Assigns. This License is personal between Licensor and Licensee and may not be sold, assigned or in any way transferred by Licensee nor may Licensee sublicense its rights hereunder. Any assignment or transfer of this License or any interest therein by Licensee in contravention of this provision shall be null and void. Except as expressly hereinbefore provided, all of the provisions of this License shall bind and inure to the benefit of the parties hereto and to their heirs, successors, representatives, executors, administrators, transferees and assigns.

16. Miscellaneous. This License shall be governed by, and construed in accordance with, the laws of the Commonwealth of Virginia. This License and the Exhibits hereto contain and embody the entire agreement of the parties hereto with respect to the Designated Area, and no representations, inducements or agreements, oral or otherwise, not contained in this License shall be of any force or effect. This License may not be modified or changed in whole or in part in any manner other than by an instrument in writing duly signed by both parties hereto. Licensee's liabilities under this License shall survive the termination or expiration of this Licensee.

17. Termination of Existing License Agreement. This License supersedes any and all prior grants of license to use any portion of the Designated Area, whether written or oral, between the parties hereto or their predecessors-in-interest.

18. REIT Compliance. Notwithstanding any other provision of this License, neither Licensee nor any direct or indirect assignee or sublicensee of Licensee may enter into any lease, sublease, license, concession or other agreement for use, occupancy or utilization of space in the location licensed hereby which provides for a rental or other payment for such use, occupancy or utilization based in whole or in part on the net income or profits derived by any person from the property leased, occupied or utilized, or which would require the payment of any consideration which would not fall within the definition of "rents from real property", as that term is defined in Section 856(d) of the Internal Revenue Code of 1986, as amended.

19. OFAC Compliance.

(a) Licensee represents and warrants that: (i) Licensee and each person or entity owning an interest in Licensee is (x) not currently identified on the Specially Designated Nationals and Blocked Persons List maintained by the Office of Foreign Assets Control, Department of the Treasury ("OFAC") and/or on any other similar list maintained by OFAC pursuant to any authorizing statute, executive order or regulation (collectively, the "List") and (y) not a person or entity with whom a citizen of the United States is prohibited to engage in transactions by any trade embargo, economic sanction, or other prohibition of United States law, regulation, or Executive Order of the President of the United States; (ii) none of the funds or other assets of Licensee constitute property of, or are beneficially owned, directly or indirectly, by any Embargoed Person (as hereinafter defined); (iii) no Embargoed Person has any interest of any nature whatsoever in Licensee (whether directly or indirectly); (iv) none of the funds of Licensee have been derived from any unlawful activity with the result that the investment in Licensee is prohibited by law or that the Lease is in violation of law; and (v) Licensee has implemented procedures, and will consistently apply those procedures, to ensure the foregoing representations and warranties remain true and correct at all times. The term "Embargoed Person" means any person, entity or government subject to trade restrictions under U.S. law, including but not limited to, the International Emergency Economic Powers Act, 50 U.S.C. §1701 *et seq.*, The Trading with the Enemy Act, 50 U.S.C. App. 1 *et seq.*, and any Executive Orders or regulations promulgated thereunder with the result that the investment in Licensee is prohibited by law or Licensee is in violation of law.

(b) Licensee covenants and agrees: (i) to comply with all requirements of law relating to money laundering, anti-terrorism, trade embargos and economic sanctions, now or hereafter in effect; (ii) to immediately notify Landlord in writing if any of the representations, warranties or covenants set forth in this paragraph or the preceding paragraph are no longer true or have been breached or if Licensee has a reasonable basis to believe that they may no longer be true or have been breached; (iii) not to use funds from any "Prohibited Person" (for the purposes of this Section 18 (b)(iii) a "Prohibited Person" is a person whose assets are blocked or with whom transactions are otherwise restricted pursuant to the September 24, 2001 Executive Order Blocking Property and Prohibiting Transactions With Persons Who Commit, Threaten to Commit, or Support Terrorism) to make any payment due to Landlord under the Lease, as hereby amended; and (iv) at the request of Landlord, to provide such information as may be requested by Landlord to determine Licensee's compliance with the terms hereof.

(c) Licensee hereby acknowledges and agrees that Licensee's inclusion on the List at any time during the Term shall be a material default of this License. Notwithstanding anything herein to the contrary, Licensee shall not permit the location licensed hereby or any portion thereof to be used or occupied by any person or entity on the List or by any Embargoed Person (on a permanent, temporary or transient basis), and any such use or occupancy of the location licensed hereby by any such person or entity shall be a material default of this License.

20. Notices. All notices required or desired to be given hereunder to Licensee shall be effective as of the date mailed, if given by certified or registered mail, first class postage prepaid, return receipt requested, or by overnight courier, or on the date faxed or hand-delivered, if faxed or hand-delivered, and shall be addressed to the Premises or as follows:

Balfour Beatty Construction, LLC.
11325 Random Hills Road, Suite 500
Fairfax, VA 22030

All notices required or desired to be given hereunder to Licensor shall be effective as of the date mailed, if given by certified or registered mail, first class postage prepaid, return receipt requested, or by overnight courier, or on the date faxed or hand-delivered, if faxed or hand-delivered, and shall be addressed as follows:

1101 Fern Street, Inc.
c/o Vornado/Charles E Smith L.P.
2345 Crystal Drive, Suite 1100
Arlington, VA 22202
Attn: Chief Operating Officer

IN WITNESS WHEREOF, the parties have executed this License as of the day and year first above written.

WITNESS FOR LICENSOR:

Erica S. Lazaro

LICENSOR:

1101 FERN STREET, INC.

By: VORNADO/CHARLES E. SMITH L.P.,
its agent

By: Vornado/Charles E. Smith Management
LLC, its general partner

By: *Patrick J. Tyrrell* (SEAL)

Name: Patrick J. Tyrrell

Title: Chief Operating Officer

Date: 1/5/2016

ATTEST FOR LICENSEE:

Erica S. Lazaro
Secretary
(Corporate Seal)

LICENSEE:

BALFOUR BEATTY CONSTRUCTION, LLC

By: _____ (SEAL)

Name: RICHARD RYAN

Title: VP OPERATIONS



Existing vs. Proposed Modifications

400 Army Navy Drive "Teardrop" Land

Existing	Proposed
Asphalt	Asphalt
Grass	Grass
Tree	Tree
	Tree Protection Fence
	Trailer Complex
	Parking for Management staff
	Sotage containers
	Construction material
	Perimeter Safety Fence
	Sewer Connection
	Water Connection
	Telecom Connection

Pictures of the Property



AMENDMENT TO SITE PLAN #2 400 ARMY NAVY DRIVE ARLINGTON, VA CIVIL ENGINEERING PLAN SET

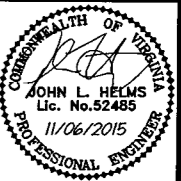
SWM #15-1987

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015

RPC: #35002001
EXISTING AREA: 1.65 AC OR 71,849 S.F.
VACATION AREA: 0.106 AC OR 4,624 S.F.
DEDICATION AREA: 0.21 AC OR 9,202 S.F.
FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · fairfax, va 22031-3907
703.273.6820 · fax 703.273.7636



PROJECT NO: 09014.003.00
DATE: 05-15-15

DESIGN: JLH
DRAWN: JLH
CHECKED: KTW



Digitally signed by John Helms
DN: c=US, cn=John Helms,
o=christopher consultants,
ou=christopher consultants
Date: 2015.11.06 13:49:03 -05'00'

1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
2 BETHESDA METRO CENTER
BETHESDA, MD 20814
301.847.0002

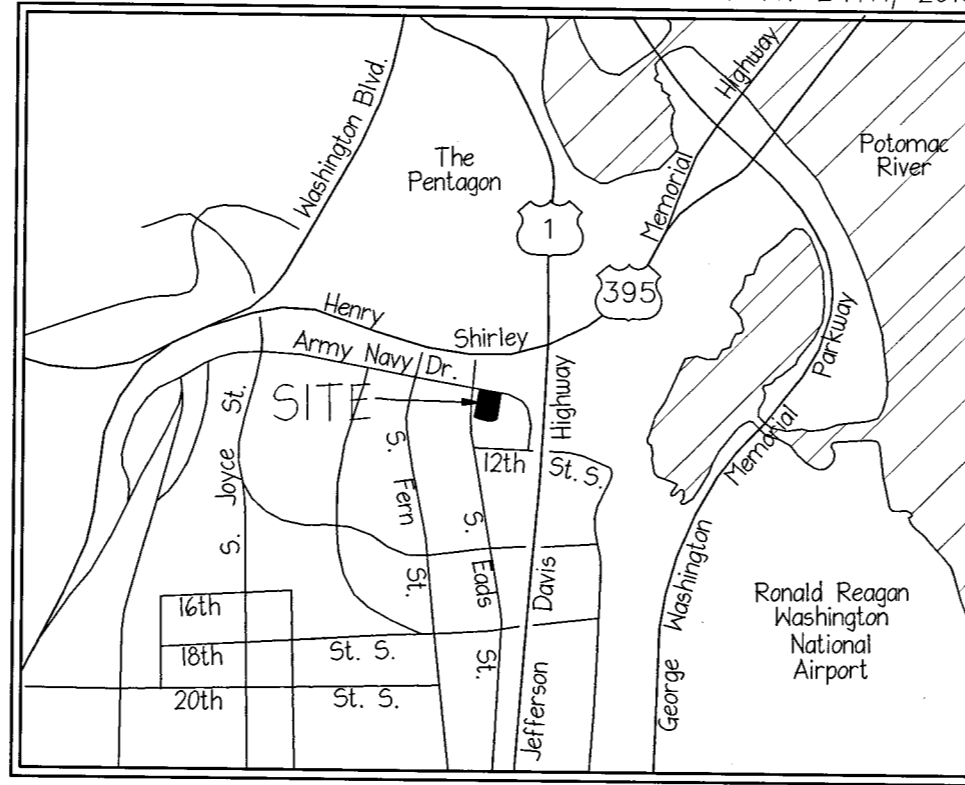
2. ARCHITECT:
SKW
7735 OLD GEORGETOWN RD.
SUITE 1000
BETHESDA, MD 20814
301.654.9300

3. PLAN PREPARED BY:

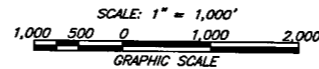
christopher
engineering · surveying · land planning
christopher consultants, llc
9900 main street (fourth floor) · fairfax, va 22031-3907
703.273.6820 · fax 703.273.7636

4. TRAFFIC ENGINEERS:
GOROVE / SLADE
1140 CONNECTICUT AVE, NW
SUITE 600
WASHINGTON, DC 20036
202.540.1924

5. ATTORNEYS:
**WALSH, COLUCCI, LUBELEY,
EMRICH & WALSH, PC**
2200 CLARENDON BLVD
13TH FLOOR
ARLINGTON, VA 22201-3359
703.528.4700



VICINITY MAP



NOTES:

1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.

2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

SHEET INDEX

C1.0	COVER SHEET
C2.0 - C2.11	ARLINGTON COUNTY BOARD CONDITIONS
C3.0	GENERAL NOTES
C4.0	EXISTING CONDITIONS PLAN
C4.1	EXISTING TREE SURVEY
C4.2	SOILS MAP
C5.0	DEMOLITION PLAN
C6.0	SITE PLAN
C6.1	GRADING PLAN
C7.0	UTILITY PLAN
C7.1	DRY UTILITY PLAN
C7.2	COUNTY CONDUIT PLAN
C8.0	DIMENSION PLAN
C9.0	TRANSPORTATION, STRIPING AND SIGNAGE PLAN
C9.1	FIRE PROTECTION PLAN
C9.2 - C9.3	STREET SECTION PLAN
C9.4	STREETSCAPE IMPROVEMENT PLAN
C9.5	TURNING MOVEMENTS
C10.0 - C10.3	SW/MBYP PLAN, DETAILS, AND COMPUTATIONS
C11.0	EROSION AND SEDIMENT CONTROL PLAN - PHASE I
C11.1	EROSION AND SEDIMENT CONTROL PLAN - PHASE II
C11.2	EROSION AND SEDIMENT CONTROL PLAN - PHASE II
C11.3	EROSION AND SEDIMENT CONTROL PLAN - DETAILS
C11.4 - C11.5	SHPPP NOTES
C12.0 - C12.2	MAINTENANCE OF TRAFFIC PLAN
C13.0	LIGHTING NOTES & CALCULATIONS
C13.1	LIGHTING SPECIFICATIONS
C13.2	LIGHTING DEMOLITION PLAN
C13.3	LIGHTING PLAN
C13.4	LIGHTING DETAILS
C13.5	PHOTOMETRIC CALCULATIONS
C14.0 - C14.2	UTILITY PROFILES
C15.0	SITE DETAILS

ARLINGTON COUNTY, VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES	
COVER SHEET THE ALTAIRE AMENDMENT TO SITE PLAN #2 400 ARMY NAVY DRIVE ARLINGTON COUNTY VIRGINIA	
SCALE: N/A	SHEET: C1.0

 ARLINGTON VIRGINIA	DEPARTMENT OF ENVIRONMENTAL SERVICES
 DENNIS M. LEACH DEPUTY DIRECTOR, DES - TRANSPORTATION & DEVELOPMENT	12/2/2015 APPROVAL DATE

G:\091014 ARMY NAVY\000100105.633 Site Plan Amendment\C1.0 COVER SHEET.dwg, 11/16/2015 12:42:21 PM, johnhelms, 1:1, christopher consultants, llc

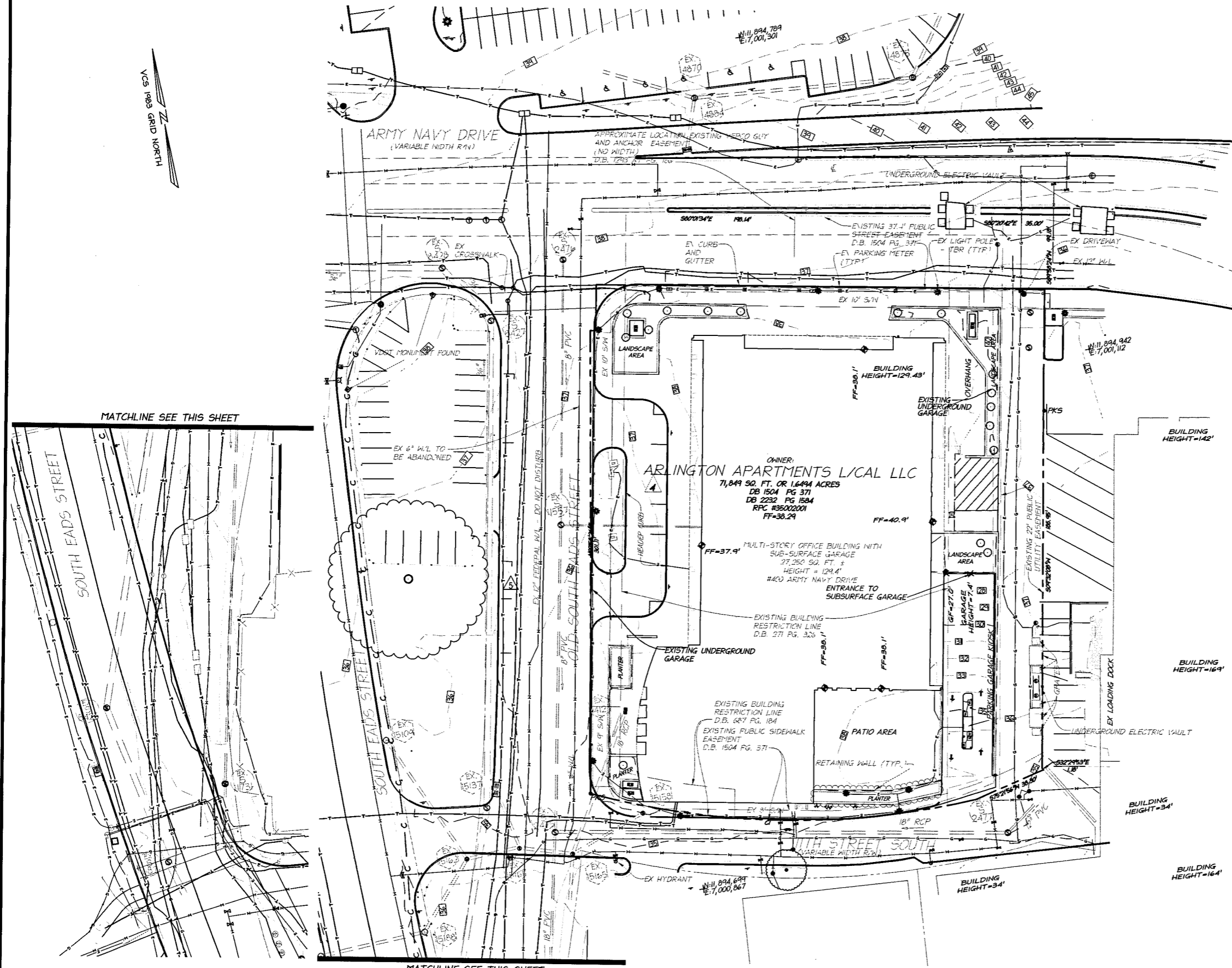
VCS 1983 GRID NORTH

RPC: #35002001
 EXISTING AREA: 1.65 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.
 ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT
 ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF
 TRANSPORTATION STANDARDS AND SPECIFICATIONS.

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.59'	28°16'36"	103.40'	N79°50'34"W	200.54'

NOTES:
 1.) SEE SHEET C3.0 FOR LEGEND.



OWNER:
ARLINGTON APARTMENTS L/CAL LLC
 71,849 SQ. FT. OR 1.6494 ACRES
 DB 1504 PG 371
 DB 2232 PG 1584
 RPC #35002001
 FF=38.24

MULTI-STORY OFFICE BUILDING WITH
 SUB-SURFACE GARAGE
 27,250 SQ. FT. ±
 HEIGHT = 129.4'
 #402 ARMY NAVY DRIVE
 ENTRANCE TO
 SUBSURFACE GARAGE

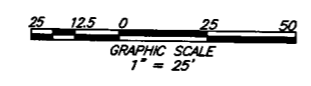
EXISTING BUILDING
 RESTRICTION LINE
 D.B. 371 PG. 326

EXISTING BUILDING
 RESTRICTION LINE
 D.B. 647 PG. 184
 EXISTING PUBLIC SIDEWALK
 EASEMENT
 D.B. 1504 PG. 371

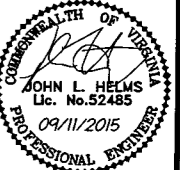
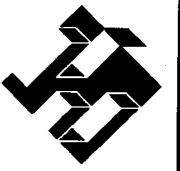
ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES

EXISTING CONDITIONS PLAN
THE ALTAIRE
 AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA

SCALE: 1"=25' SHEET: C4.0



christopher consultants
 engineering - surveying - land planning
 9900 main street (fourth floor) Fairfax va. 22031-3907
 703.273.6920 fax 703.273.7636



PROJECT NO. 09014.003.00
 DATE: 05-15-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMW



Digitally signed by John Helms
 DN: c=US, cn=John Helms,
 o=christopher consultants,
 ou=christopher consultants
 Date: 2015.09.10 15:23:10 -0400'

ARLINGTON
 VIRGINIA
 DEPARTMENT OF
 ENVIRONMENTAL SERVICES

Dennis M. Leach
 DEPUTY DIRECTOR, DES - TRANSPORTATION & DEVELOPMENT

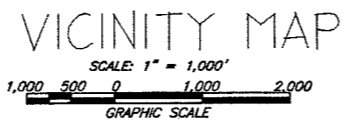
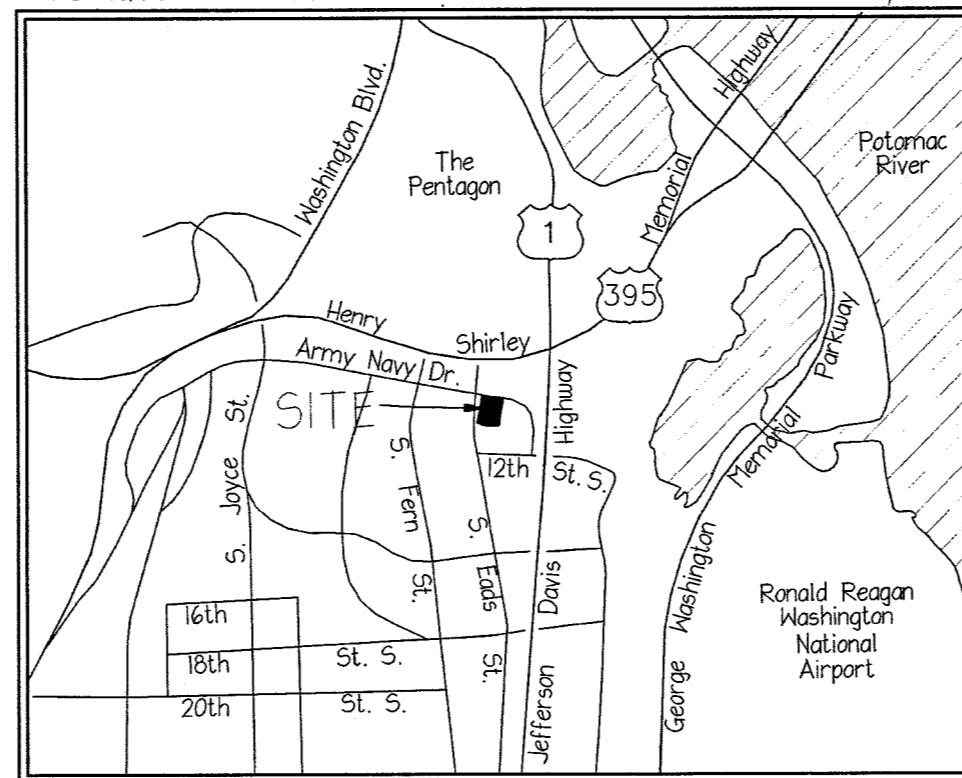
12/2/2015
 APPROVAL DATE

AMENDMENT TO SITE PLAN #2 THE ALTAIRE 400 ARMY NAVY DRIVE MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION ARLINGTON, VA

SWM #

**RED-LINE DOCUMENT FOR
TEARDROP USE 1.12.16**

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015



NOTES:

- 1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.
- 2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

REG: #35002001
EXISTING AREA: 1.64 AC OR 71,849 S.F.
VACATION AREA: 0.106 AC OR 4,624 S.F.
DEDICATION AREA: 0.21 AC OR 9,202 S.F.
FINAL TOTAL AREA: 1.55 AC OR 67,416 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

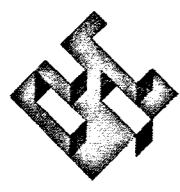
1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
2 BETHESDA METRO CENTER
BETHESDA, MD 20814
301.897.0002

2. ARCHITECT:
SKN
7735 OLD GEORGETOWN RD.
SUITE 1000
BETHESDA, MD 20814
301.654.4300

3. PLAN PREPARED BY:
christopher
engineering · surveying · land planning
christopher consultants, ltd.
9900 main street (fourth floor) · fairfax, va 22031-3907
703.273.6620 · fax 703.273.7636

4. TRAFFIC ENGINEERS:
GOROVE / SLADE
1140 CONNECTICUT AVE, NW
SUITE 600
WASHINGTON, DC 20036
202.540.1424

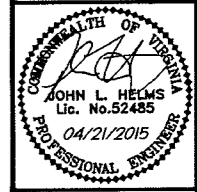
5. ATTORNEYS:
**WALSH, COLUCCI, LUBELEY,
EMRICH & WALSH, PC**
2200 CLARENDON BLVD
19TH FLOOR
ARLINGTON, VA 22201-3359
703.528.4700



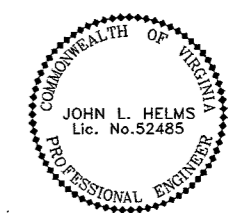
SHEET INDEX

CO1.0	COVER SHEET
CO2.0	DEMOLITION PLAN
CO3.0 - CO4.0	MAINTENANCE OF TRAFFIC PLAN

christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · fairfax, va 22031-3907
703.273.6620 · fax 703.273.7636



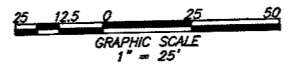
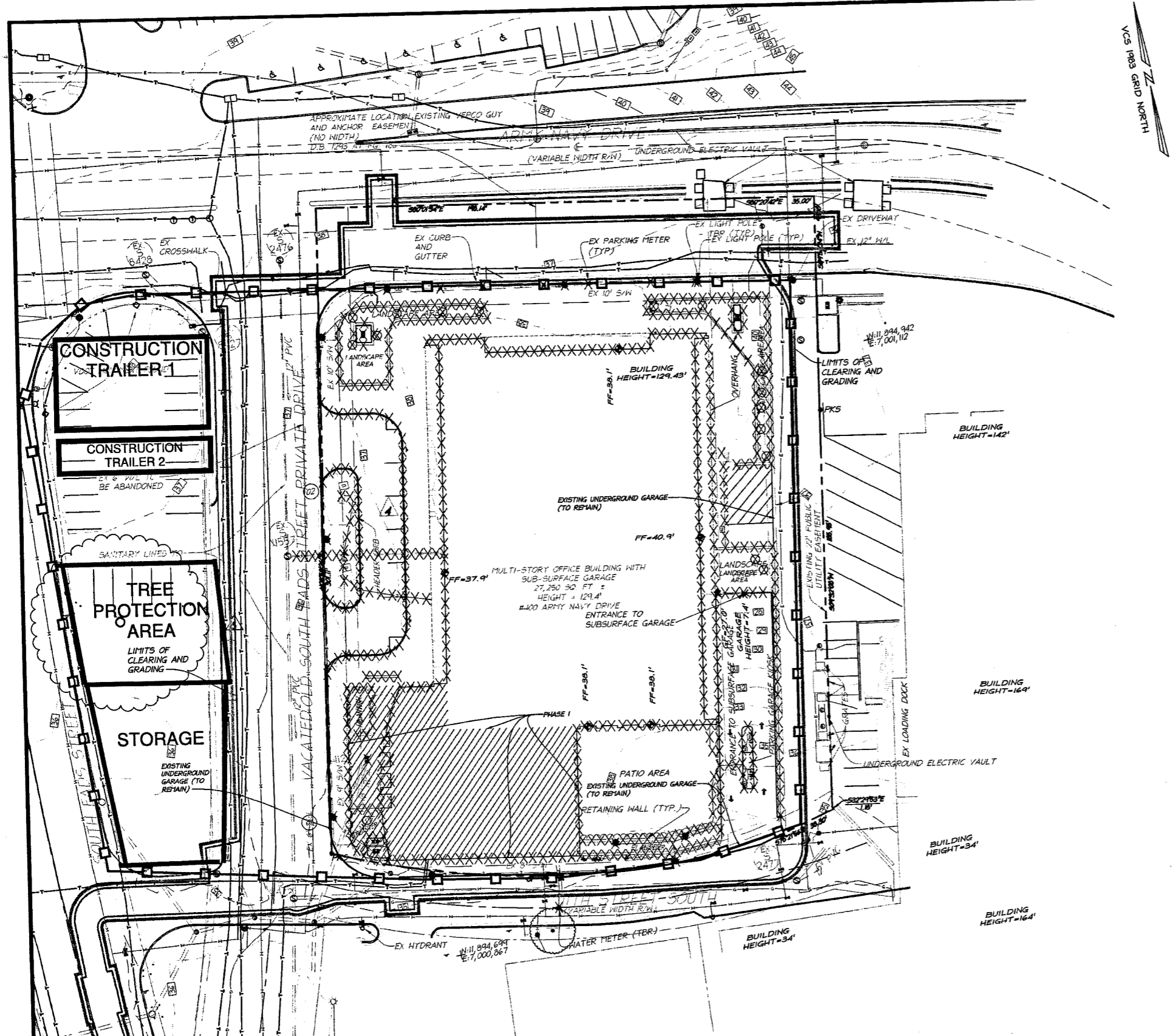
PROJECT NO: 09214.003.00
DATE: 04-21-15
DESIGN: JLH
DRAWN: JLH
CHECKED: KMW



Digitally signed by John Helms
DN: c=US, cn=John Helms, o=christopher consultants, ou=christopher consultants
Date: 2015.04.21 16:15:16 -04'00'

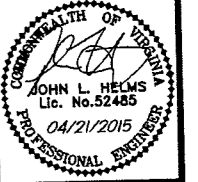
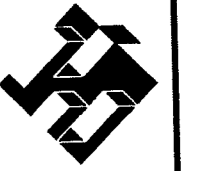
ARLINGTON COUNTY, VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES	
COVER SHEET - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION THE ALTAIRE - AMENDMENT TO SITE PLAN #2 400 ARMY NAVY DRIVE ARLINGTON COUNTY VIRGINIA	
SCALE: N/A	SHEET: CO1.0

 ARLINGTON VIRGINIA	DEPARTMENT OF ENVIRONMENTAL SERVICES
 BRIDGET OBIKOYA ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS	6/15/2015 APPROVAL DATE



REC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
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christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax VA 22031-3907
 703.273.6920 · fax: 703.273.7636



PROJECT NO: 0901M.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTM

NOTES:

- 1.) CONTRACTOR TO CONTACT DES-PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK.
- 2.) CONTRACTOR TO COORDINATE WITH TRANSIT AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED. THE APPLICANT WILL REMOVE THE EXISTING PARKING METERS AND REINSTALL AT THE CONCLUSION OF THE PROJECT AS NECESSARY.
- 3.) ALL EXISTING UTILITIES SERVICING THE SITE WILL BE DISCONNECTED IN ACCORDANCE WITH THE COUNTRY REGULATIONS.
- 4.) ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 5.) ACCESS TO BUILDINGS FOR FIREFIGHTERS SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 508.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 410 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 6.) IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT THE ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
- 7.) NO EXISTING TREES WITHIN THE LIMITS OF DISTURBANCE WILL BE SAVED WITH THIS PROJECT.
- 8.) NO RESOURCE PROTECTED AREAS ARE LOCATED ON THIS SITE.
- 9.) EXISTING STREET LIGHTS SHALL REMAIN AT ALL TIMES DURING DEMOLITION. CONTRACTOR SHALL COORDINATE WITH THE COUNTY IF EXISTING LIGHTS CANNOT REMAIN DURING DEMOLITION AND TEMPORARY STREET LIGHTS ARE NEEDED.
- 10.) FOR LEGEND, SEE SHEET C3.0.

XXXX - TO BE REMOVED

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.54'	28°16'36"	103.40'	N79°50'34"W	200.54'

RED-LINE DOCUMENT FOR TEARDROP USE 1.12.16

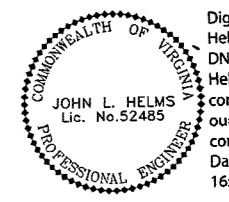
NARRATIVE:

400 ARMY NAVY DRIVE CURRENTLY IS AN EXISTING MULTI-STORY OFFICE BUILDING WITH 3 LEVELS OF SUB-SURFACE PARKING. THE EXISTING BUILDING WILL BE DEMOLISHED TO THE FOUNDATION. THE WALLS FOR THE SUB-SURFACE PARKING GARAGE WILL REMAIN AND WILL BE UTILIZED TO STABILIZE AND SUPPORT THE SURROUNDING ROAD NETWORK WITH THE ADDITION OF WIRE TIE-BACKS.

THE DEMOLITION WILL CONSIST OF A 2 WEEK MOBILIZATION PERIOD, FOLLOWED BY A 2 MONTH PERIOD OF INTERIOR DEMOLITION.

THE NEXT PHASE OF THE DEMOLITION WILL BE THE REMOVAL OF THE 2 STORY BUILDING AROUND THE EXISTING TOWER AND THE PLANTER BOXES. THIS AREA IS SHOWN ON THE DRAWING AS 'PHASE I'. THE DEMOLITION OF THIS AREA WILL ALLOW FOR THE PLACEMENT OF THE CRANE PAD. DURING THIS TIME THE CONSTRUCTION ENTRANCE WILL BE LOCATED IN THE CURRENT DROP OFF LANE. THIS AREA IS CURRENTLY STABILIZED AND WILL REMAIN SO DURING THIS PHASE OF CONSTRUCTION. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE I' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. WE ANTICIPATE THAT THIS PHASE WILL BE CONCURRENT WITH THE INTERIOR DEMOLITION.

AFTER THE DEMOLITION OF THE 2-STORY BUILDING AROUND THE TOWER OCCURS, A 6 TO 8 MONTH DEMOLITION OF THE TOWER WILL OCCUR. AS THE DEMOLITION OCCURS, THE CONSTRUCTION ENTRANCE WILL BE MOVED FROM THE DROP OFF LANE TO AN AREA ADJACENT TO THE CRANE. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE 2' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. TIEBACKS WILL BE UTILIZED FOR THE EXISTING WALLS OF THE SUB-SURFACE PARKING GARAGE TO STABILIZE THE WALLS. THE SITE WILL REMAIN SECURE UPON COMPLETION OF THE DEMOLITION. EXCESS DEBRIS WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE APPROPRIATE PERMITS. TEMPORARY OR PERMANENT SEEDING WILL BE USED AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL PLANS.



Digitally signed by John Helms
 DN: c=US, cn=John Helms, ou=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:15:36 -04'00'

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 DEMOLITION PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C02.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES
 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE

REC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

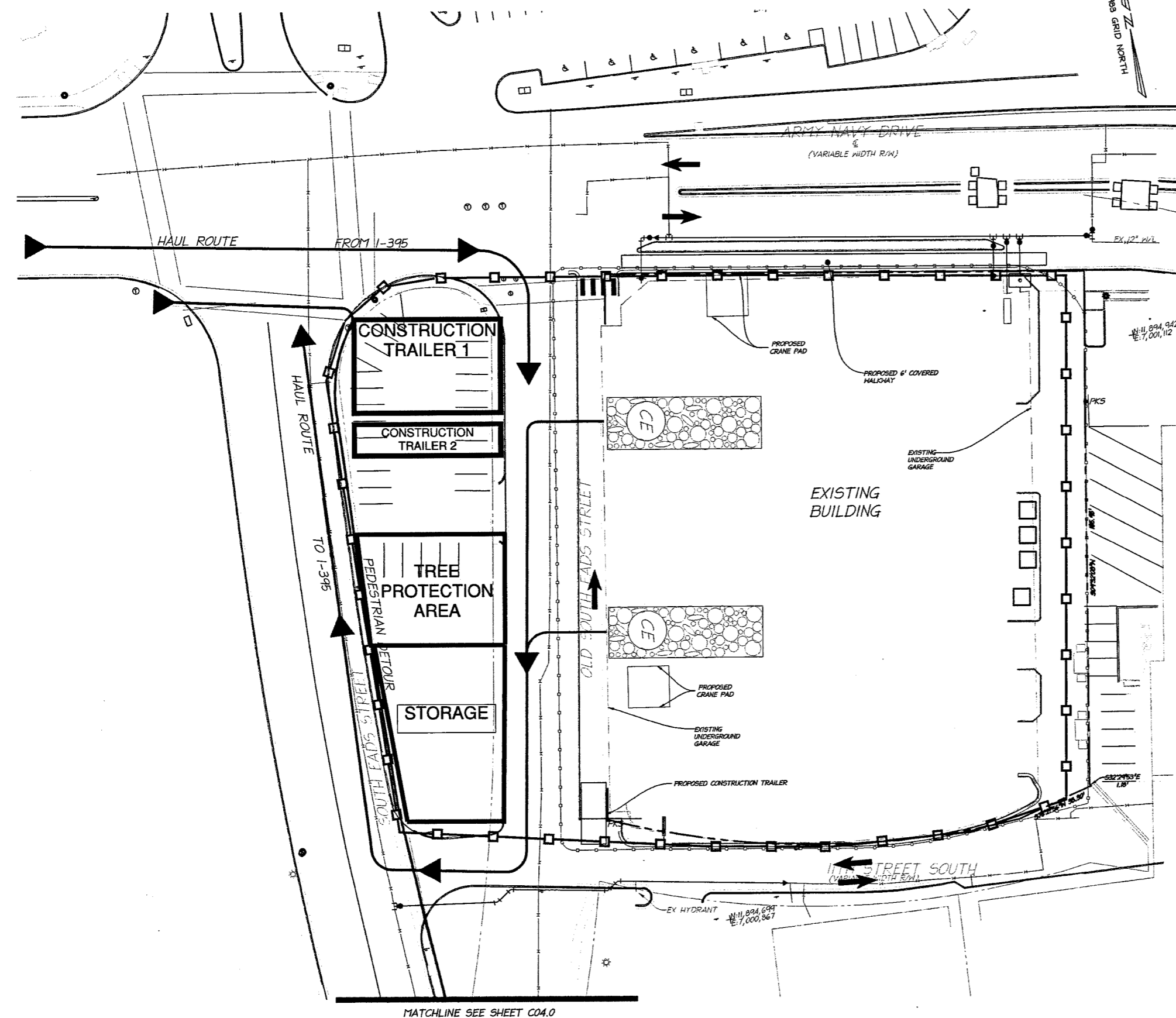
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

NARRATIVE:

THE TRAFFIC MANAGEMENT PLAN FOR 400 ARMY NAVY DRIVE MUST GUARANTEE THE SAFETY OF THE PUBLIC AND THE CONSTRUCTION TEAM WHILE ENSURING THE FULL FUNCTIONALITY OF THE SURROUNDING TRAVEL WAYS. DURING DEMOLITION, THE PARALLEL PARKING SPACES ALONG THE SOUTH SIDE OF ARMY NAVY DRIVE WILL BE OUT OF SERVICE FOR THE DURATION OF DEMOLITION. OLD SOUTH EADS STREET WILL BE CLOSED TO PUBLIC TRAFFIC. LANES OF TRAFFIC ON ARMY NAVY DRIVE AND 11TH STREET WILL REMAIN OPEN. SOUTH EADS WILL CONTINUE TO HAVE 2 WAY TRAFFIC CONSISTING OF 12' TRAVEL WAYS. VEHICLES WILL NOT BE IMPEDED BY CONSTRUCTION TRAFFIC AND EQUIPMENT. DEMOLITION IS EXPECTED TO LAST 6 MONTHS.

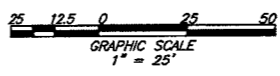
NOTES:

1. ALL TRAFFIC MAINTENANCE DEVICES, SIGNING, WORKSPACE AREAS, TAPER AND TRANSITIONAL BUFFER SPACE SHALL BE IN CONFORMANCE WITH THE MUTCD AND THE VIRGINIA WORK AREA PROTECTION MANUAL, CURRENT EDITION.
2. ACCESS TO ALL COUNTY TRAFFIC DEVICES SHALL REMAIN CLEAR AND UNOBTSTRUCTED DURING ALL PHASE OF CONSTRUCTION, ANY DAMAGE TO TRAFFIC CONTROL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION AS SHOWN ON THE ENCLOSED MAINTENANCE OF TRAFFIC PLAN.
4. CONTRACTOR SHALL APPLY FOR CONSTRUCTION PERMIT AND PROVIDE NOT PLANS FOR APPROVAL DURING CONSTRUCTION.
5. SIDEWALK CLOSURE AND LANE CLOSURE SHALL BE IN ACCORDANCE WITH PART 6 OF THE MUTCD AND VIRGINIA WORK AREA PROTECTION MANUAL. FOR SIDEWALK CLOSURES REFER TO FIGURE 6H-28 OF THE MUTCD (SIDEWALK CLOSURES AND BYPASS SIDEWALKS). FOR LANE CLOSURES REFER TO FIGURE 5-3 OF THE VIRGINIA WORK AREA PROTECTION MANUAL AND FIGURES 6H-10, 6H-18, 6H-21 THRU 6H-27 OF THE MUTCD.
6. CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS DURING CONSTRUCTION AND SHALL SUBMIT NOT PLANS FOR APPROVAL AT THAT TIME.
7. ALL SPOILS SHALL BE HAULED PER THE DESIGNATED ROUTE TO THE LIGHT AT ARMY NAVY DRIVE. ALL SPOILS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
8. CONTRACTOR TO ENSURE VEHICLE ACCESS AROUND THE SITE AT ALL TIMES. FLAGGERS TO BE USED AS NEEDED TO HELP CONTROL MAINTAIN TRAFFIC FLOW.
9. CONSTRUCTION WORKERS ARE NOT PERMITTED TO PARK ON THE STREET.
10. THE CONTRACTOR SHALL IMPLEMENT EACH APPROVED MOT. EXCEPTIONS MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED BELOW, DURING ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES. "EMERGENCY" STREET CLOSURES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE RELATING TO RUPTURE OR POTENTIAL RUPTURE OF A WATER OR GAS MAIN, UNSECURED BUILDING FACADE, OR SIMILAR UNFORESEEABLE PUBLIC DANGER. "EMERGENCY" STREET CLOSURES SHALL NOT INCLUDE CLOSURES FOR SETTING UP OR DISMANTLING OF A CRANE, EXTERIOR BUILDING CONSTRUCTION, MATERIALS DELIVERIES, UTILITIES WORK, OR SIMILAR SITUATIONS TO MOT NOTES SECTION.
11. PARKING SHALL BE RESTRICTED BY THE COUNTY AS PART OF THE RIGHT OF WAY PERMIT. CONTACT PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK AT 703-228-3629.
12. CONTRACTOR SHALL COORDINATE WITH TRANSIT AT 703-228-3049 AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED.
13. ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBTSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
14. ACCESS TO BUILDINGS FOR FIREFIGHTING SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 503.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 140 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
15. IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBTSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBTSTRUCTION.
16. THROUGHOUT DEMOLITION, A SIX FOOT MINIMUM, LIGHTED, PROTECTED PEDESTRIAN ACCESS SHALL BE PROVIDED IN ARMY NAVY DRIVE. EXCEPTION MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED IN CONDITION #13C, DURING AN ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES OR CONSTRUCTION OF THE SIDEWALK ALONG ARMY NAVY DRIVE.
17. HAUL ROUTE - ALL CONSTRUCTION TRAFFIC TRAVELING WEST ON 11TH STREET, SHALL TRAVEL TO SOUTH EADS STREET, TO ARMY NAVY DRIVE, AND THEN TO 345.
18. UNLESS OTHERWISE PERMITTED, WORK HOURS FOR CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT OF WAY WILL BE MON-FRI, 9 A.M.-4 P.M. WEEKEND WORK HOURS WILL BE DETERMINED ON A CASE-BY-CASE BASIS. NIGHT WORK ON WEEKDAYS FROM 9 P.M.-7 A.M. AND WEEKENDS FROM 9 P.M.-10 A.M. MUST FILE FOR A NOISE EXEMPTION REQUEST FROM CODE ENFORCEMENT. ALL OTHER CONSTRUCTION ACTIVITIES SHALL TAKE PLACE BETWEEN THE HOURS OF 7 A.M. AND 6:30 P.M. ON WEEKDAYS AND 10 A.M. AND 6:30 P.M. ON WEEKENDS.
19. ALL STREETS SHALL REMAIN. IF TEMPORARY LIGHTING IS NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE INSPECTOR FOR LOCATIONS.



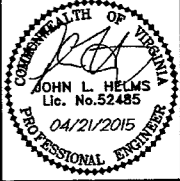
**RED-LINE DOCUMENT FOR
 TEARDROP USE 1.12.16**

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 MAINTENANCE OF TRAFFIC PLAN PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C03.0



ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES
 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE

christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax va · 22031-3907
 703.273.6920 · fax 703.273.7656



PROJECT NO: 0904A.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTM



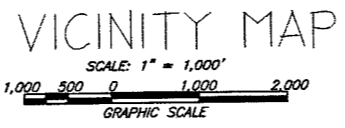
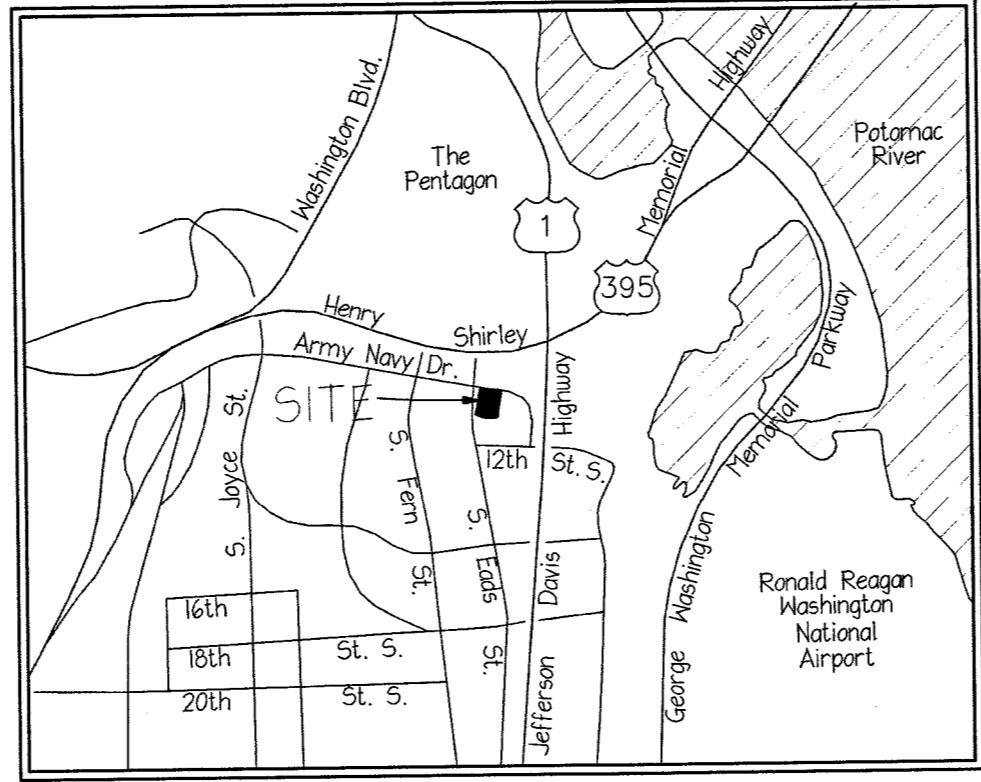
Digitally signed by John Helms
 DN: c=US, cn=John Helms,
 ou=christopher consultants,
 ou=christopher consultants,
 Date: 2015.05.13 11:21:12 -0400

AMENDMENT TO SITE PLAN #2 THE ALTAIRE 400 ARMY NAVY DRIVE MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION ARLINGTON, VA

SWM #

**RED-LINE DOCUMENT FOR
TEARDROP USE 1.12.16**

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015

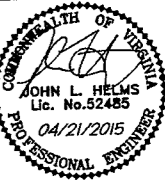


NOTES:

- 1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.
- 2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

REG. #35002001
EXISTING AREA: 1.64 AC OR 71,849 S.F.
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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · fairfax, va 22031-3907
703.273.6820 · fax 703.273.7636



PROJECT NO: 09014.003.00
DATE: 04-21-15
DESIGN: JLH
DRAWN: JLH
CHECKED: KMM

Digitally signed by John Helms
DN: c=US, cn=John Helms, o=christopher consultants, ou=christopher consultants
Date: 2015.04.21 16:15:16 -04'00'



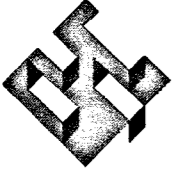
1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
2 BETHESDA METRO CENTER
BETHESDA, MD 20814
301.847.0002

2. ARCHITECT:
SKW
7735 OLD GEORGETOWN RD.
SUITE 1000
BETHESDA, MD 20814
301.654.9300

3. PLAN PREPARED BY:
christopher
engineering · surveying · land planning
christopher consultants, ltd.
9900 main street (fourth floor) · fairfax, va 22031-3907
703.273.6820 · fax 703.273.7636

4. TRAFFIC ENGINEERS:
GORVE / SLADE
1140 CONNECTICUT AVE, NW
SUITE 600
WASHINGTON, DC 20036
202.540.1924

5. ATTORNEYS:
**WALSH, COLUCCI, LUBELEY,
EMRICH & WALSH, PC**
2200 CLARENDON BLVD
13TH FLOOR
ARLINGTON, VA 22201-3359
703.528.4700



**ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES**

COVER SHEET - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
400 ARMY NAVY DRIVE
ARLINGTON COUNTY VIRGINIA

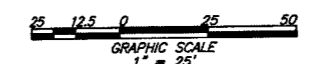
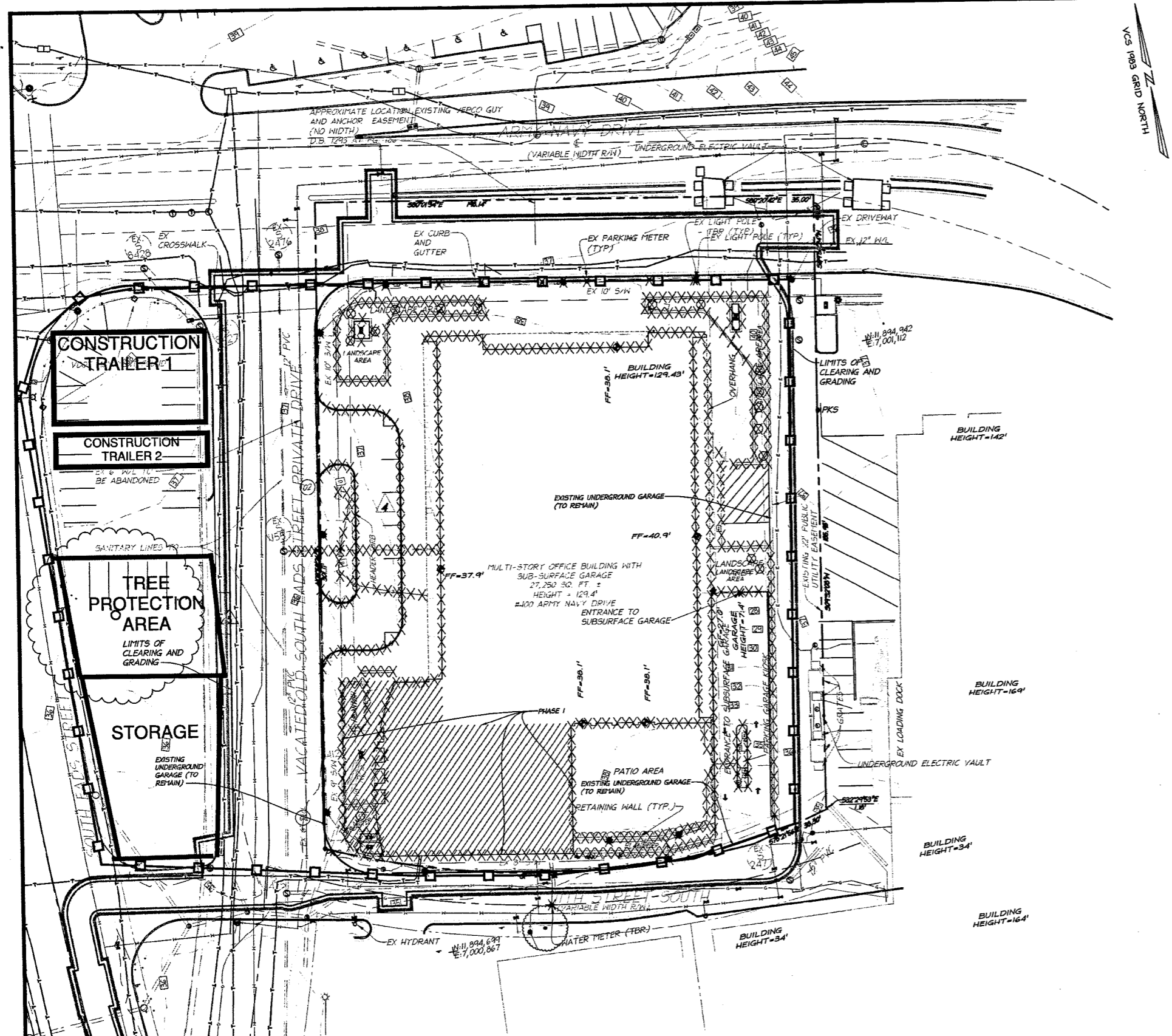
SCALE: N/A SHEET: C01.0



ARLINGTON VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES

Bridget Obikova
BRIDGET OBIKOVA
ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS

6/15/2015
APPROVAL DATE



RRC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

NOTES:

- 1.) CONTRACTOR TO CONTACT DES-PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK.
- 2.) CONTRACTOR TO COORDINATE WITH TRANSIT AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED. THE APPLICANT WILL REMOVE THE EXISTING PARKING METERS AND REINSTALL AT THE CONCLUSION OF THE PROJECT AS NECESSARY.
- 3.) ALL EXISTING UTILITIES SERVICING THE SITE WILL BE DISCONNECTED IN ACCORDANCE WITH THE COUNTRY REGULATIONS.
- 4.) ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 5.) ACCESS TO BUILDINGS FOR FIREFIGHTERS SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 503.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 140 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 6.) IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT THE ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
- 7.) NO EXISTING TREES WITHIN THE LIMITS OF DISTURBANCE WILL BE SAVED WITH THIS PROJECT.
- 8.) NO RESOURCE PROTECTED AREAS ARE LOCATED ON THIS SITE.
- 9.) EXISTING STREET LIGHTS SHALL REMAIN AT ALL TIMES DURING DEMOLITION. CONTRACTOR SHALL COORDINATE WITH THE COUNTY IF EXISTING LIGHTS CANNOT REMAIN DURING DEMOLITION AND TEMPORARY STREET LIGHTS ARE NEEDED.
- 10.) FOR LEGEND, SEE SHEET C3.0.

XXXXX - TO BE REMOVED
 - PHASE I EXTERIOR DEMOLITION

CURVE TABLE

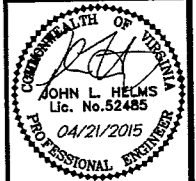
CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
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**RED-LINE DOCUMENT FOR
TEARDROP USE 1.12.16**

NARRATIVE:
 400 ARMY NAVY DRIVE CURRENTLY IS AN EXISTING MULTI-STORY OFFICE BUILDING WITH 3 LEVELS OF SUB-SURFACE PARKING. THE EXISTING BUILDING WILL BE DEMOLISHED TO THE FOUNDATION. THE WALLS FOR THE SUB-SURFACE PARKING GARAGE WILL REMAIN AND WILL BE UTILIZED TO STABILIZE AND SUPPORT THE SURROUNDING ROAD NETWORK WITH THE ADDITION OF WIRE TIE-BACKS.

THE DEMOLITION WILL CONSIST OF A 2 WEEK MOBILIZATION PERIOD, FOLLOWED BY A 2 MONTH PERIOD OF INTERIOR DEMOLITION.
 THE NEXT PHASE OF THE DEMOLITION WILL BE THE REMOVAL OF THE 2 STORY BUILDING AROUND THE EXISTING TOWER AND THE PLANTER BOXES. THIS AREA IS SHOWN ON THE DRAWING AS 'PHASE I'. THE DEMOLITION OF THIS AREA WILL ALLOW FOR THE PLACEMENT OF THE CRANE PAD. DURING THIS TIME THE CONSTRUCTION ENTRANCE WILL BE LOCATED IN THE CURRENT DROP OFF LANE. THIS AREA IS CURRENTLY STABILIZED AND WILL REMAIN SO DURING THIS PHASE OF CONSTRUCTION. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE I' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. WE ANTICIPATE THAT THIS PHASE WILL BE CONCURRENT WITH THE INTERIOR DEMOLITION.
 AFTER THE DEMOLITION OF THE 2-STORY BUILDING AROUND THE TOWER OCCURS, A 6 TO 8 MONTH DEMOLITION OF THE TOWER WILL OCCUR. AS THE DEMOLITION OCCURS, THE CONSTRUCTION ENTRANCE WILL BE MOVED FROM THE DROP OFF LANE TO AN AREA ADJACENT TO THE CRANE. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE 2' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. TIEBACKS WILL BE UTILIZED FOR THE EXISTING WALLS OF THE SUB-SURFACE PARKING GARAGE TO STABILIZE THE WALLS. THE SITE WILL REMAIN SECURE UPON COMPLETION OF THE DEMOLITION. EXCESS DEBRIS WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE APPROPRIATE PERMITS. TEMPORARY OR PERMANENT SEEDING WILL BE USED AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL PLANS.

christopher consultants
 engineering · surveying · land planning
 9600 main street (fourth floor) · Fairfax va 22031-3907
 703.273.6820 · fax 703.273.7636



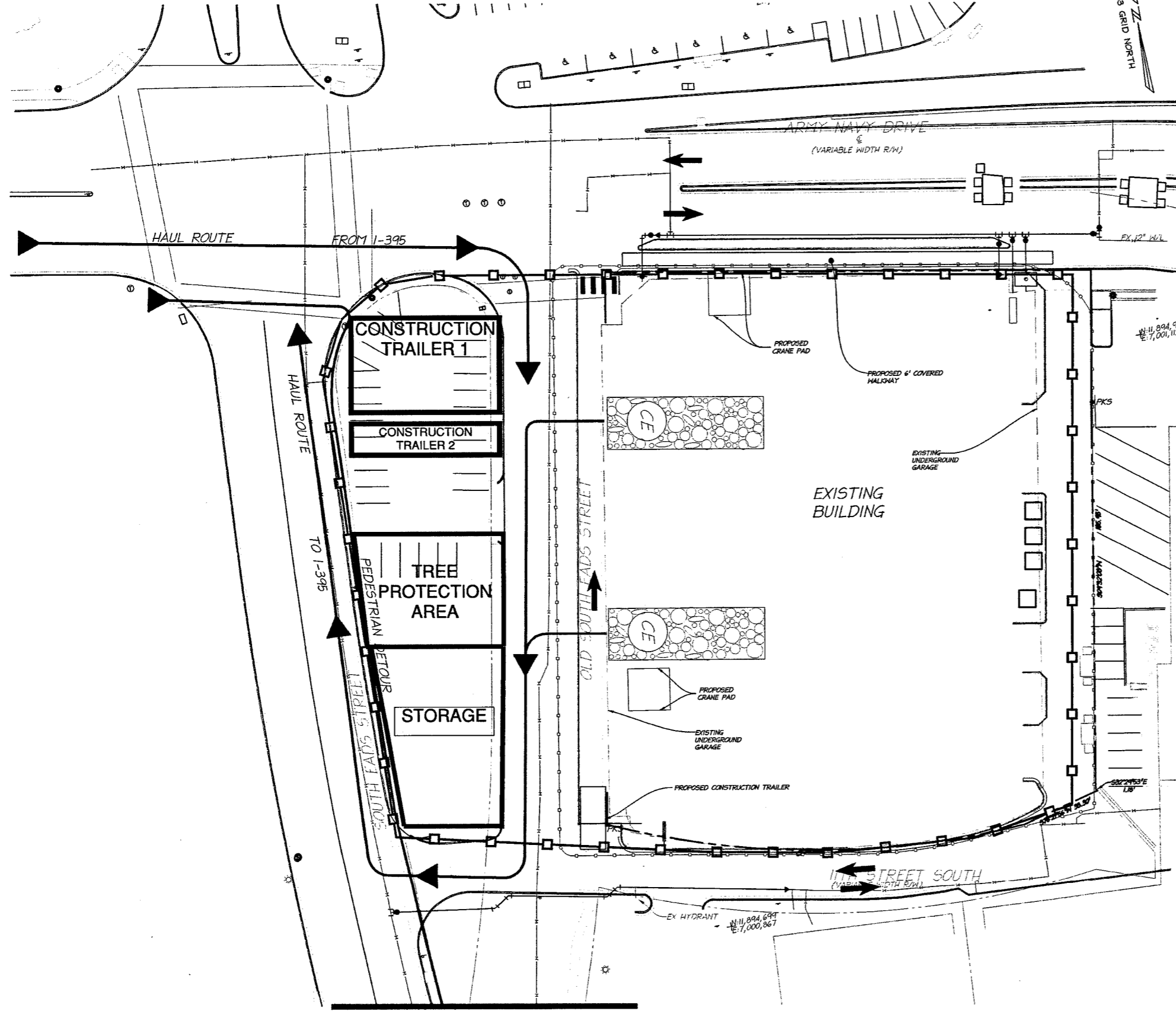
PROJECT NO: 09014.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: K1M



Digitally signed by John Helms
 DN: c=US, cn=John Helms, o=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:15:36 -0400'

**ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES**
 DEMOLITION PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C02.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES
 BRIDGET OBIKOVA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE



REC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
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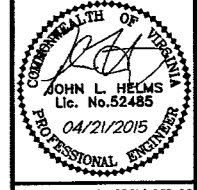
NARRATIVE:

THE TRAFFIC MANAGEMENT PLAN FOR 400 ARMY NAVY DRIVE MUST GUARANTEE THE SAFETY OF THE PUBLIC AND THE CONSTRUCTION TEAM WHILE ENSURING THE FULL FUNCTIONALITY OF THE SURROUNDING TRAVEL WAYS. DURING DEMOLITION, THE PARALLEL PARKING SPACES ALONG THE SOUTH SIDE OF ARMY NAVY DRIVE WILL BE CLOSED FOR THE DURATION OF DEMOLITION. OLD SOUTH EADS STREET WILL BE CLOSED TO PUBLIC TRAFFIC. LANES OF TRAFFIC ON ARMY NAVY DRIVE AND 11TH STREET WILL REMAIN OPEN. SOUTH EADS WILL CONTINUE TO HAVE 2 WAY TRAFFIC CONSISTING OF 12' TRAVEL WAYS. VEHICLES WILL NOT BE IMPEDED BY CONSTRUCTION TRAFFIC AND EQUIPMENT. DEMOLITION IS EXPECTED TO LAST 6 MONTHS.

NOTES:

1. ALL TRAFFIC MAINTENANCE DEVICES, SIGNING, WORKSPACE AREAS, TAPER AND TRANSITIONAL BUFFER SPACE SHALL BE IN CONFORMANCE WITH THE MUTCD AND THE VIRGINIA WORK AREA PROTECTION MANUAL, CURRENT EDITION.
2. ACCESS TO ALL COUNTY TRAFFIC DEVICES SHALL REMAIN CLEAR AND UNOBSTRUCTED DURING ALL PHASES OF CONSTRUCTION, ANY DAMAGE TO TRAFFIC CONTROL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION AS SHOWN ON THE ENCLOSED MAINTENANCE OF TRAFFIC PLAN.
4. CONTRACTOR SHALL APPLY FOR CONSTRUCTION PERMIT AND PROVIDE NOT PLANS FOR APPROVAL DURING CONSTRUCTION.
5. SIDEWALK CLOSURE AND LANE CLOSURE SHALL BE IN ACCORDANCE WITH PART 6 OF THE MUTCD AND VIRGINIA WORK AREA PROTECTION MANUAL. FOR SIDEWALK CLOSURES REFER TO FIGURE 6H-28 OF THE MUTCD (SIDEWALK CLOSURES AND BYPASS SIDEWALKS). FOR LANE CLOSURES REFER TO FIGURE 5-3 OF THE VIRGINIA WORK AREA PROTECTION MANUAL AND FIGURES 6H-10, 6H-18, 6H-21 THRU 6H-27 OF THE MUTCD.
6. CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS DURING CONSTRUCTION AND SHALL SUBMIT NOT PLANS FOR APPROVAL AT THAT TIME.
7. ALL SPOILS SHALL BE HAULED PER THE DESIGNATED ROUTE TO THE LIGHT AT ARMY NAVY DRIVE. ALL SPOILS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
8. CONTRACTOR TO ENSURE VEHICLE ACCESS AROUND THE SITE AT ALL TIMES. FLAGGERS TO BE USED AS NEEDED TO HELP CONTROL/MAINTAIN TRAFFIC FLOW.
9. CONSTRUCTION WORKERS ARE NOT PERMITTED TO PARK ON THE STREET.
10. THE CONTRACTOR SHALL IMPLEMENT EACH APPROVED NOT PLAN EXCEPT WHERE NOTED OTHERWISE. DURING AN EMERGENCY AS DEFINED BELOW, DURING ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES. "EMERGENCY" STREET CLOSURES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE RELATING TO RUPTURE OR POTENTIAL RUPTURE OF A WATER OR GAS MAIN, UNSECURED BUILDING FACADE, OR SIMILAR UNFORESEEABLE PUBLIC DANGER. "EMERGENCY" STREET CLOSURES SHALL NOT INCLUDE CLOSURES FOR SETTING UP OR DISMANTLING OF A CRANE, EXTERIOR BUILDING CONSTRUCTION, MATERIALS DELIVERIES, UTILITIES WORK, OR SIMILAR SITUATIONS TO NOT NOTES SECTION.
11. PARKING SHALL BE RESTRICTED BY THE COUNTY AS PART OF THE RIGHT OF WAY PERMIT. CONTACT PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK AT 703-228-3629.
12. CONTRACTOR SHALL COORDINATE WITH TRANSIT AT 703-228-3049 AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED.
13. ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
14. ACCESS TO BUILDINGS FOR FIREFIGHTING SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 503.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 140 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
15. IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
16. THROUGHOUT DEMOLITION, A SIX FOOT MINIMUM, LIGHTED, PROTECTED PEDESTRIAN ACCESS SHALL BE PROVIDED IN ARMY NAVY DRIVE. EXCEPTION MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED IN CONDITION #13C, DURING AN ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES OR CONSTRUCTION OF THE SIDEWALK ALONG ARMY NAVY DRIVE.
17. HAUL ROUTE - ALL CONSTRUCTION TRAFFIC TRAVELING WEST ON 11TH STREET, SHALL TRAVEL TO SOUTH EADS STREET, TO ARMY NAVY DRIVE, AND THEN TO 395.
18. UNLESS OTHERWISE PERMITTED, WORK HOURS FOR CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT OF WAY WILL BE MON-FRI, 9 A.M.-4 P.M. WEEKEND WORK HOURS WILL BE DETERMINED ON A CASE-BY-CASE BASIS. NIGHT WORK ON WEEKDAYS FROM 9 P.M.-7 A.M. AND WEEKENDS FROM 9 P.M.-10 A.M. MUST FILE FOR A NOISE EXEMPTION REQUEST FROM CODE ENFORCEMENT. ALL OTHER CONSTRUCTION ACTIVITIES SHALL TAKE PLACE BETWEEN THE HOURS OF 7 A.M. AND 6:30 P.M. ON WEEKDAYS AND 10 A.M. AND 6:30 P.M. ON WEEKENDS.
19. ALL STREETS SHALL REMAIN. IF TEMPORARY LIGHTING IS NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE INSPECTOR FOR LOCATIONS.

christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax, VA 22031-3907
 703.275.6920 · fax 703.273.7636



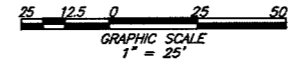
PROJECT NO: 09101.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWING: JLH
 CHECKED: KIM



Digitally signed by John Helms
 DN: c=US, cn=John Helms,
 ou=christopher consultants,
 ou=christopher consultants
 Date: 2015.05.13 11:12:12 -0400

**RED-LINE DOCUMENT FOR
 TEARDROP USE 1.12.16**

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 MAINTENANCE OF TRAFFIC PLAN PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C03.0



ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

Bridget Obikoya
 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS

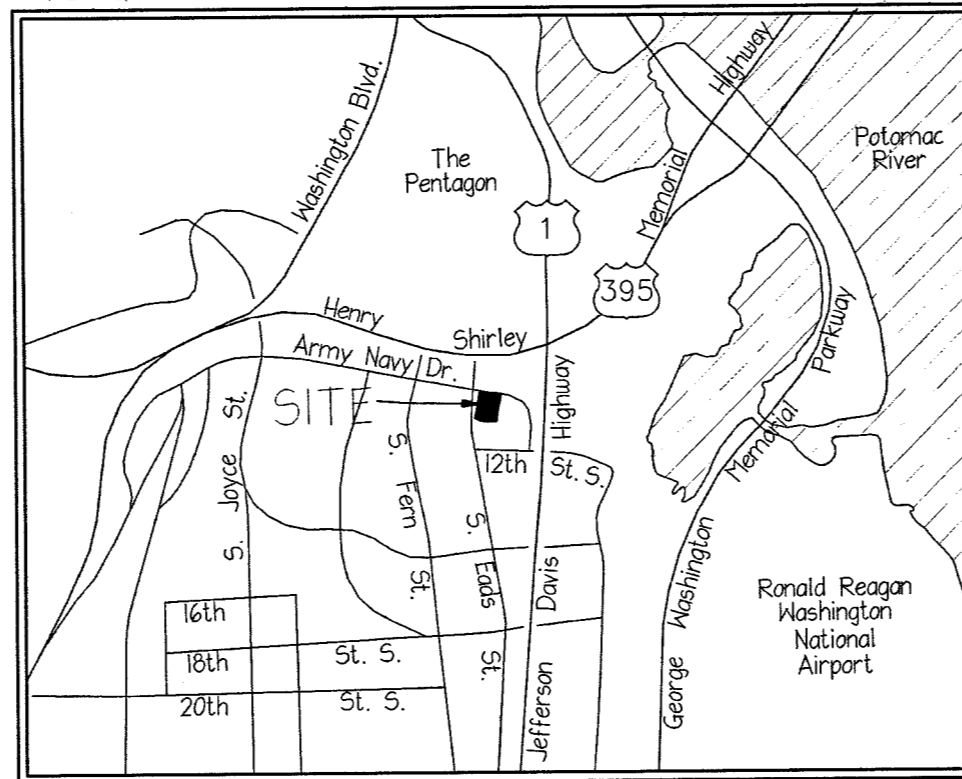
6/15/2015
 APPROVAL DATE

AMENDMENT TO SITE PLAN #2 THE ALTAIRE 400 ARMY NAVY DRIVE MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION ARLINGTON, VA

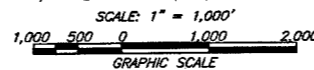
SWM #

**RED-LINE DOCUMENT FOR
TEARDROP USE 1.12.16**

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015



VICINITY MAP



NOTES:

- 1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.
- 2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

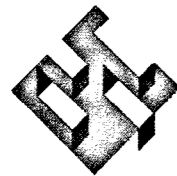
RPC: #35002001
EXISTING AREA: 1.64 AC OR 71,849 S.F.
VACATION AREA: 0.106 AC OR 4,624 S.F.
DEDICATION AREA: 0.21 AC OR 9,202 S.F.
FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
2 BETHESDA METRO CENTER
BETHESDA, MD 20814
301.897.0002

2. ARCHITECT:
SKA
7735 OLD GEORGETOWN RD.
SUITE 1000
BETHESDA, MD 20814
301.654.4300

3. PLAN PREPARED BY:



christopher
engineering · surveying · land planning
christopher consultants, ltd.
9900 main street (fourth floor) · fairfax, va 22031-3907
703.273.6820 · fax 703.273.7636

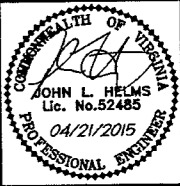
4. TRAFFIC ENGINEERS:
GROVE / SLADE
1140 CONNECTICUT AVE, NW
SUITE 600
WASHINGTON, DC 20036
202.540.1924

5. ATTORNEYS:
**WALSH, COLUCCI, LUBELEY,
EMRICH & WALSH, PC**
2200 CLARENDON BLVD
13TH FLOOR
ARLINGTON, VA 22201-3359
703.528.4700

SHEET INDEX

C01.0 COVER SHEET
C02.0 DEMOLITION PLAN
C03.0 - C04.0 MAINTENANCE OF TRAFFIC PLAN

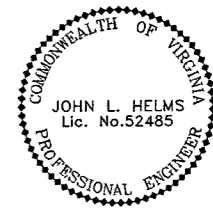
christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · fairfax, va 22031-3907
703.273.6820 · fax 703.273.7636



PROJECT NO: 09014.003.00

DATE: 04-21-15

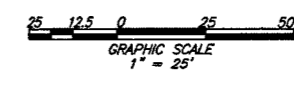
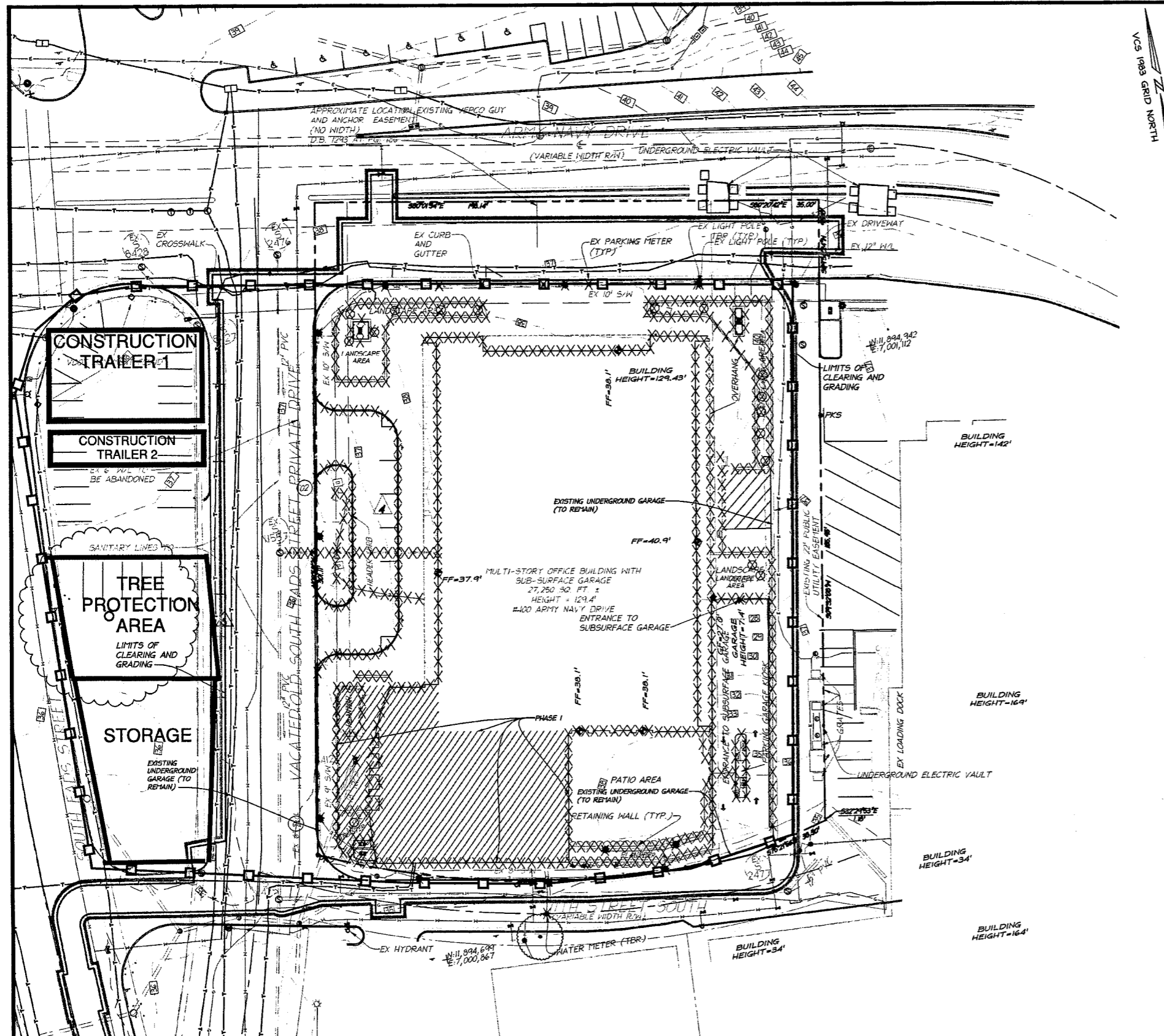
DESIGN: JLH
DRAWN: JLH
CHECKED: KMN



Digitally signed by
John Helms
DN: c=US, cn=John
Helms, o=christopher
consultants,
ou=christopher
consultants
Date: 2015.04.21
16:15:16 -04'00'

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES
COVER SHEET - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
400 ARMY NAVY DRIVE
ARLINGTON COUNTY VIRGINIA
SCALE: N/A SHEET: C01.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES
Bridget Obikoya
BRIDGET OBIKOYA
ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
6/15/2015
APPROVAL DATE



RPC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
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 FINAL TOTAL AREA: 1.55 AC OR 67,416 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

NOTES:

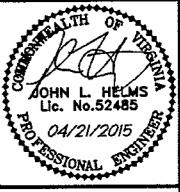
- 1.) CONTRACTOR TO CONTACT DES-PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK.
- 2.) CONTRACTOR TO COORDINATE WITH TRANSIT AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED. THE APPLICANT WILL REMOVE THE EXISTING PARKING METERS AND REINSTALL AT THE CONCLUSION OF THE PROJECT AS NECESSARY.
- 3.) ALL EXISTING UTILITIES SERVICING THE SITE WILL BE DISCONNECTED IN ACCORDANCE WITH THE COUNTRY REGULATIONS.
- 4.) ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 5.) ACCESS TO BUILDINGS FOR FIREFIGHTERS SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 503.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 140 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 6.) IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT THE ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
- 7.) NO EXISTING TREES WITHIN THE LIMITS OF DISTURBANCE WILL BE SAVED WITH THIS PROJECT.
- 8.) NO RESOURCE PROTECTED AREAS ARE LOCATED ON THIS SITE.
- 9.) EXISTING STREET LIGHTS SHALL REMAIN AT ALL TIMES DURING DEMOLITION. CONTRACTOR SHALL COORDINATE WITH THE COUNTY IF EXISTING LIGHTS CANNOT REMAIN DURING DEMOLITION AND TEMPORARY STREET LIGHTS ARE NEEDED.
- 10.) FOR LEGEND, SEE SHEET C3.0.

XXXX - TO BE REMOVED
 - PHASE I EXTERIOR DEMOLITION

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.59'	28°16'36"	103.40'	N79°50'34"W	200.54'

christopher consultants
 engineering - surveying - land planning
 9900 main street (fourth floor) - Fairfax va 22031-5907
 703.273.6920 - fax 703.273.7636



PROJECT NO: 09014.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: K1W



Digitally signed by John Helms
 DN: c=US, cn=John Helms, o=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:15:36 -04'00'

RED-LINE DOCUMENT FOR TEARDROP USE 1.12.16

NARRATIVE:
 400 ARMY NAVY DRIVE CURRENTLY IS AN EXISTING MULTI-STORY OFFICE BUILDING WITH 3 LEVELS OF SUB-SURFACE PARKING. THE EXISTING BUILDING WILL BE DEMOLISHED TO THE FOUNDATION. THE WALLS FOR THE SUB-SURFACE PARKING GARAGE WILL REMAIN AND WILL BE UTILIZED TO STABILIZE AND SUPPORT THE SURROUNDING ROAD NETWORK WITH THE ADDITION OF WIRE TIE-BACKS.
 THE DEMOLITION WILL CONSIST OF A 2 WEEK MOBILIZATION PERIOD, FOLLOWED BY A 2 MONTH PERIOD OF INTERIOR DEMOLITION.

THE NEXT PHASE OF THE DEMOLITION WILL BE THE REMOVAL OF THE 2 STORY BUILDING AROUND THE EXISTING TOWER AND THE PLANTER BOXES. THIS AREA IS SHOWN ON THE DRAWING AS 'PHASE I'. THE DEMOLITION OF THIS AREA WILL ALLOW FOR THE PLACEMENT OF THE CRANE PAD. DURING THIS TIME THE CONSTRUCTION ENTRANCE WILL BE LOCATED IN THE CURRENT DROP OFF LANE. THIS AREA IS CURRENTLY STABILIZED AND WILL REMAIN SO DURING THIS PHASE OF CONSTRUCTION. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE 1' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. WE ANTICIPATE THAT THIS PHASE WILL BE CONCURRENT WITH THE INTERIOR DEMOLITION.

AFTER THE DEMOLITION OF THE 2-STORY BUILDING AROUND THE TOWER OCCURS, A 6 TO 8 MONTH DEMOLITION OF THE TOWER WILL OCCUR. AS THE DEMOLITION OCCURS, THE CONSTRUCTION ENTRANCE WILL BE MOVED FROM THE DROP OFF LANE TO AN AREA ADJACENT TO THE CRANE. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE 2' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. TIEBACKS WILL BE UTILIZED FOR THE EXISTING WALLS OF THE SUB-SURFACE PARKING GARAGE TO STABILIZE THE WALLS. THE SITE WILL REMAIN SECURE UPON COMPLETION OF THE DEMOLITION. EXCESS DEBRIS WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE APPROPRIATE PERMITS. TEMPORARY OR PERMANENT SEEDING WILL BE USED AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL PLANS.

**ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES**

**DEMOLITION PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
 THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA**

SCALE: 1"=25' SHEET: C02.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

Brigit Obikoya
 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS

6/15/2015
 APPROVAL DATE

RPC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
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 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

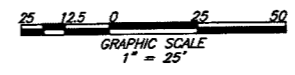
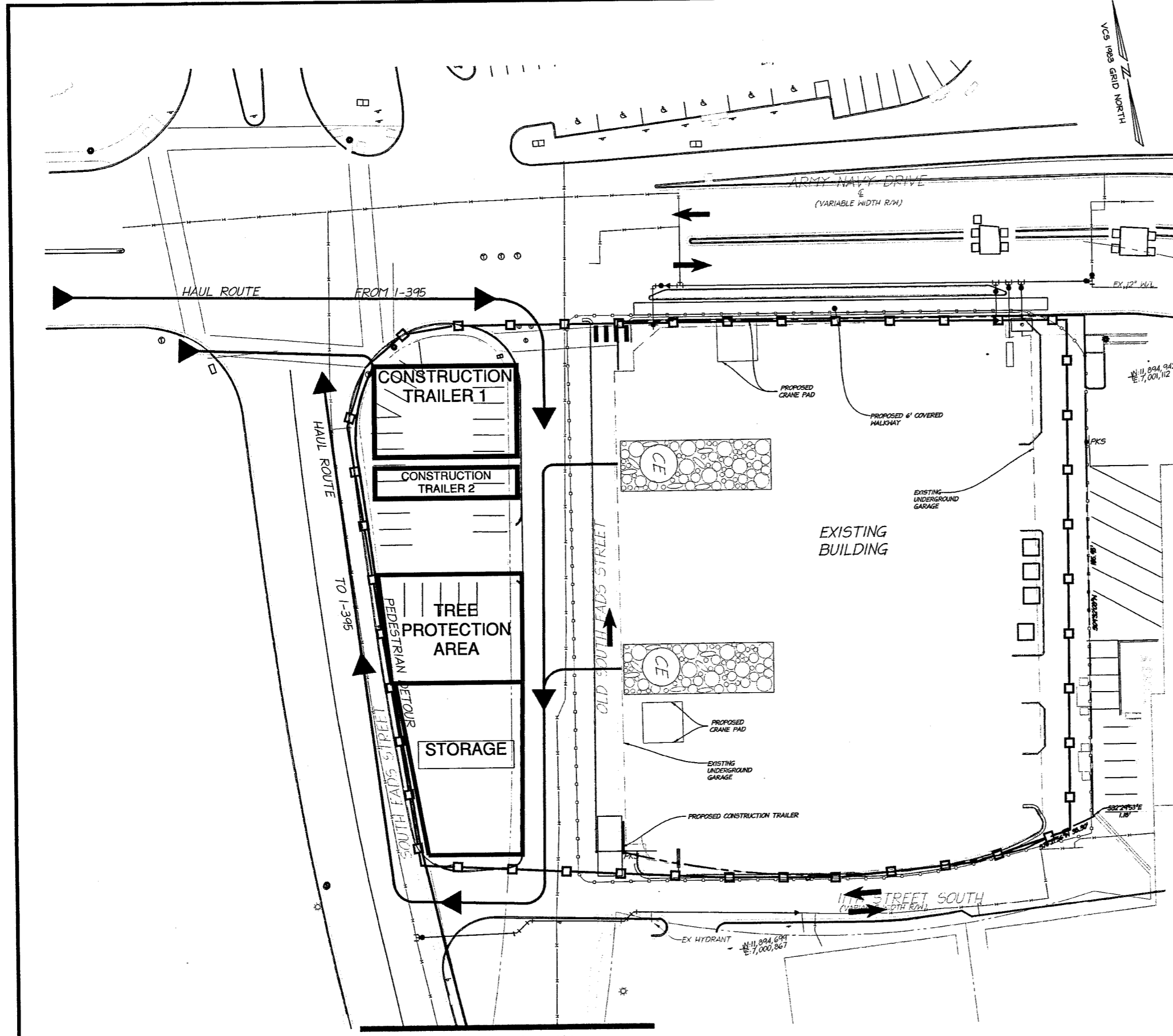
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

NARRATIVE:

THE TRAFFIC MANAGEMENT PLAN FOR 400 ARMY NAVY DRIVE MUST GUARANTEE THE SAFETY OF THE PUBLIC AND THE CONSTRUCTION TEAM WHILE ENSURING THE FULL FUNCTIONALITY OF THE SURROUNDING TRAVEL WAYS. DURING DEMOLITION, THE PARALLEL PARKING SPACES ALONG THE SOUTH SIDE OF ARMY NAVY DRIVE WILL BE OUT OF SERVICE FOR THE DURATION OF DEMOLITION. OLD SOUTH EADS STREET WILL BE CLOSED TO PUBLIC TRAFFIC. LANES OF TRAFFIC ON ARMY NAVY DRIVE AND 11TH STREET WILL REMAIN OPEN. SOUTH EADS WILL CONTINUE TO HAVE 2 WAY TRAFFIC CONSISTING OF 12' TRAVEL WAYS. VEHICLES WILL NOT BE IMPEDED BY CONSTRUCTION TRAFFIC AND EQUIPMENT. DEMOLITION IS EXPECTED TO LAST 6 MONTHS.

NOTES:

1. ALL TRAFFIC MAINTENANCE DEVICES, SIGNING, WORKSPACE AREAS, TAPER AND TRANSITIONAL BUFFER SPACE SHALL BE IN CONFORMANCE WITH THE MUTCD AND THE VIRGINIA WORK AREA PROTECTION MANUAL, CURRENT EDITION.
2. ACCESS TO ALL COUNTY TRAFFIC DEVICES SHALL REMAIN CLEAR AND UNOBTURATED DURING ALL PHASES OF CONSTRUCTION, ANY DAMAGE TO TRAFFIC CONTROL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION AS SHOWN ON THE ENCLOSED MAINTENANCE OF TRAFFIC PLAN.
4. CONTRACTOR SHALL APPLY FOR CONSTRUCTION PERMIT AND PROVIDE NOT PLANS FOR APPROVAL DURING CONSTRUCTION.
5. SIDEWALK CLOSURE AND LANE CLOSURE SHALL BE IN ACCORDANCE WITH PART 6 OF THE MUTCD AND VIRGINIA WORK AREA PROTECTION MANUAL. FOR SIDEWALK CLOSURES REFER TO FIGURE 6H-28 OF THE MUTCD (SIDEWALK CLOSURES AND BYPASS SIDEWALKS). FOR LANE CLOSURES REFER TO FIGURE 5-3 OF THE VIRGINIA WORK AREA PROTECTION MANUAL AND FIGURES 6H-10, 6H-18, 6H-21 THRU 6H-27 OF THE MUTCD.
6. CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS DURING CONSTRUCTION AND SHALL SUBMIT NOT PLANS FOR APPROVAL AT THAT TIME.
7. ALL SPOILS SHALL BE HAULLED PER THE DESIGNATED ROUTE TO THE LIGHT AT ARMY NAVY DRIVE. ALL SPOILS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
8. CONTRACTOR TO ENSURE VEHICLE ACCESS AROUND THE SITE AT ALL TIMES. FLAGGERS TO BE USED AS NEEDED TO HELP CONTROL/MAINTAIN TRAFFIC FLOW.
9. CONSTRUCTION WORKERS ARE NOT PERMITTED TO PARK ON THE STREET.
10. THE CONTRACTOR SHALL IMPLEMENT EACH APPROVED MOT. EXCEPTIONS MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED BELOW, DURING ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES. "EMERGENCY" STREET CLOSURES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE RELATING TO RUPTURE OR POTENTIAL RUPTURE OF A WATER OR GAS MAIN, UNSECURED BUILDING FACADE, OR SIMILAR UNRESESSABLE PUBLIC DANGER. "EMERGENCY" STREET CLOSURES SHALL NOT INCLUDE CLOSURES FOR SETTING UP OR DISMANTLING OF A CRANE EXTERIOR BUILDING CONSTRUCTION, MATERIALS DELIVERIES, UTILITIES WORK, OR SIMILAR SITUATIONS TO MOT NOTES SECTION.
11. PARKING SHALL BE RESTRICTED BY THE COUNTY AS PART OF THE RIGHT OF WAY PERMIT. CONTACT PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK AT 703-228-3629.
12. CONTRACTOR SHALL COORDINATE WITH TRANSIT AT 703-228-3049 AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED.
13. ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBTURATED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
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16. THROUGHOUT DEMOLITION, A SIX FOOT MINIMUM, LIGHTED, PROTECTED PEDESTRIAN ACCESS SHALL BE PROVIDED IN ARMY NAVY DRIVE. EXCEPTION MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED IN CONDITION #13C, DURING AN ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES OR CONSTRUCTION OF THE SIDEWALK ALONG ARMY NAVY DRIVE.
17. HAUL ROUTE - ALL CONSTRUCTION TRAFFIC TRAVELING WEST ON 11TH STREET, SHALL TRAVEL TO SOUTH EADS STREET, TO ARMY NAVY DRIVE, AND THEN TO 395.
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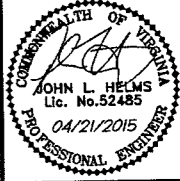
**RED-LINE DOCUMENT FOR
 TEARDROP USE 1.12.16**

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 MAINTENANCE OF TRAFFIC PLAN PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C03.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

 BRIDGET OBIKOVA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE

christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax, VA 22031-3907
 703.273.6820 · fax: 703.273.7656



PROJECT NO: 09014.003.00

DATE: 04-21-15

DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTW

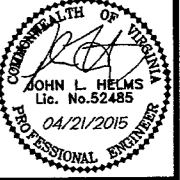


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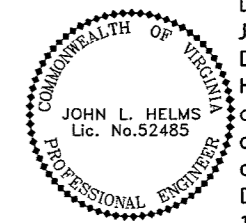
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 9820 main street (south loop) · Fairfax va. 22031-3907
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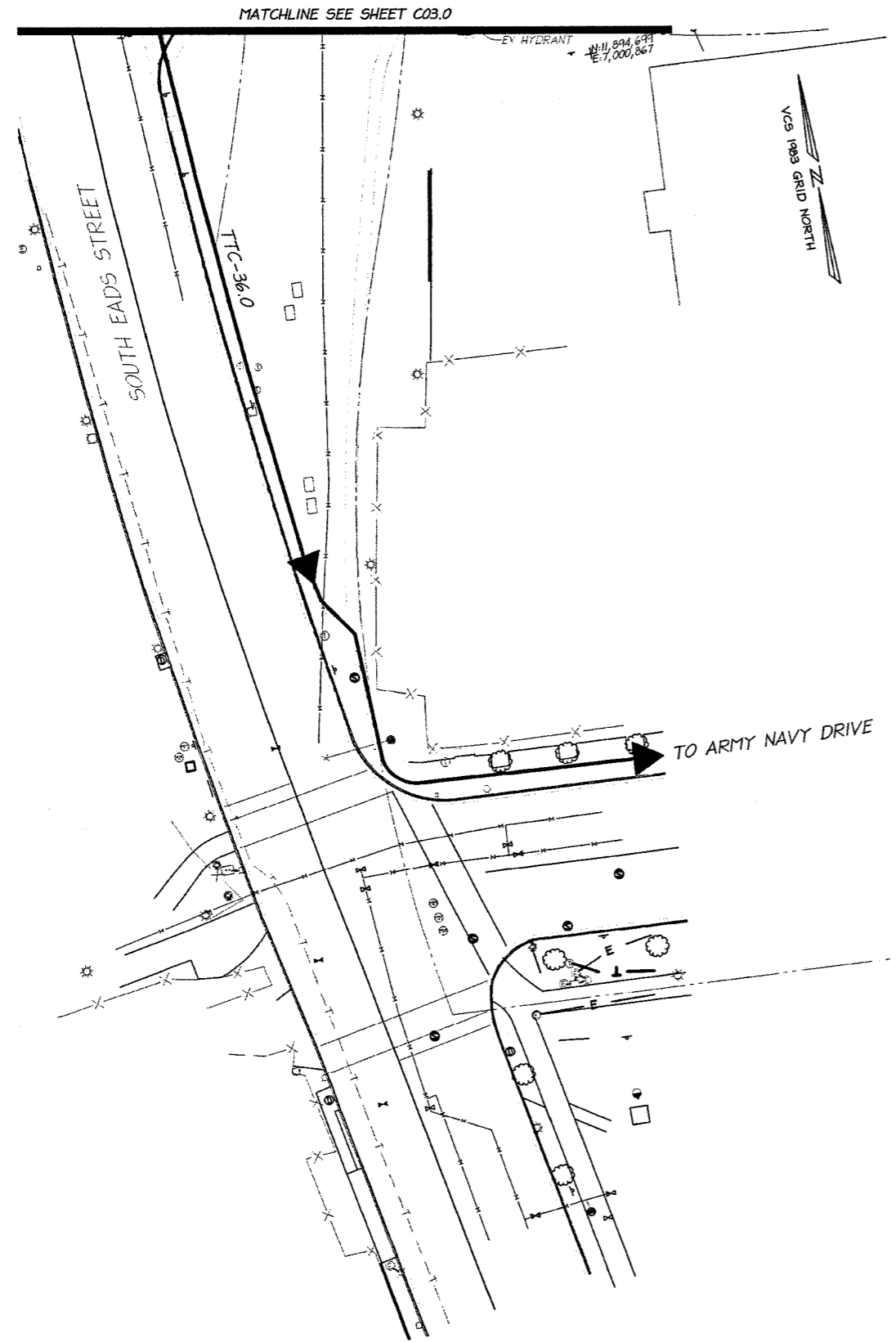
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RED-LINE DOCUMENT FOR TEARDROP USE 1.12.16

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 MAINTENANCE OF TRAFFIC PLAN PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
 THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C04.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

 BRIDGET OBIKOVA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE



TTC-36.0:

Page 6H-76 August 2011

Typical Traffic Control
 Crosswalk Closure and Pedestrian Detour Operation
 (Figure TTC-36.0)

NOTES

Standard:

- When crosswalks or other pedestrian facilities are closed or relocated, temporary facilities shall be detectable and shall include accessibility features consistent with the features present in the existing pedestrian facility.
- Curb parking shall be prohibited for at least 50 feet in advance of the midblock crosswalk.

Guidance:

- Audible information devices should be considered where midblock closings and changed crosswalk areas cause inadequate communication to be provided to pedestrians who have visual disabilities.
- Pedestrian traffic signal displays controlling closed crosswalks should be covered or deactivated.
- Temporary markings should be considered for operations exceeding three days in duration.

Notes:

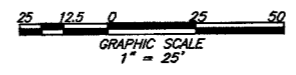
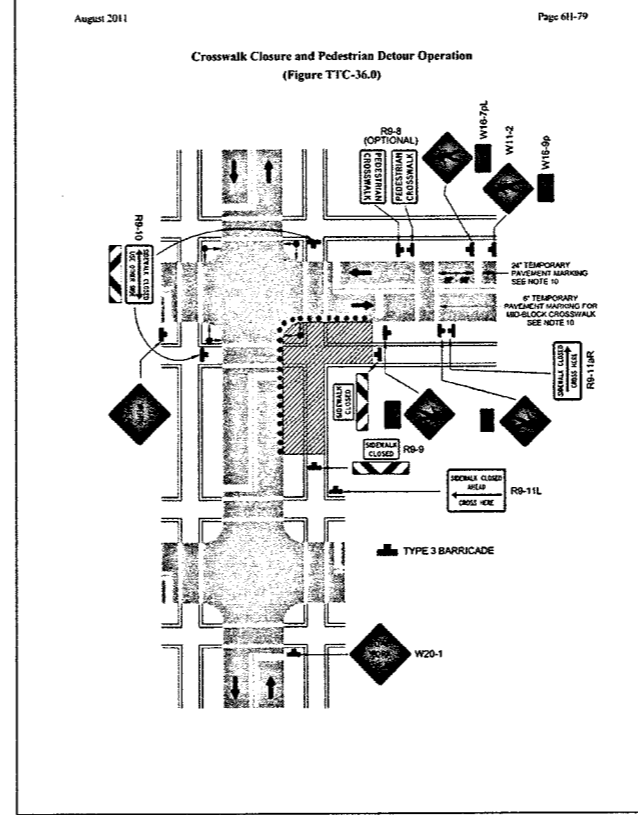
- Only the TTC devices related to pedestrians are shown. Other devices, such as lane closure signing or ROAD NARROWS (W5-1) signs, may be used to control vehicular traffic.
- For nighttime closures, Type A Flashing warning lights may be used on barricades supporting signs and closing sidewalks.
- In order to maintain the systematic use of the fluorescent yellow-green background for pedestrian, bicycle, and school warning signs in a jurisdiction, the fluorescent yellow-green background for pedestrian, bicycle, and school warning signs may be used in TTC zones.

Standard:

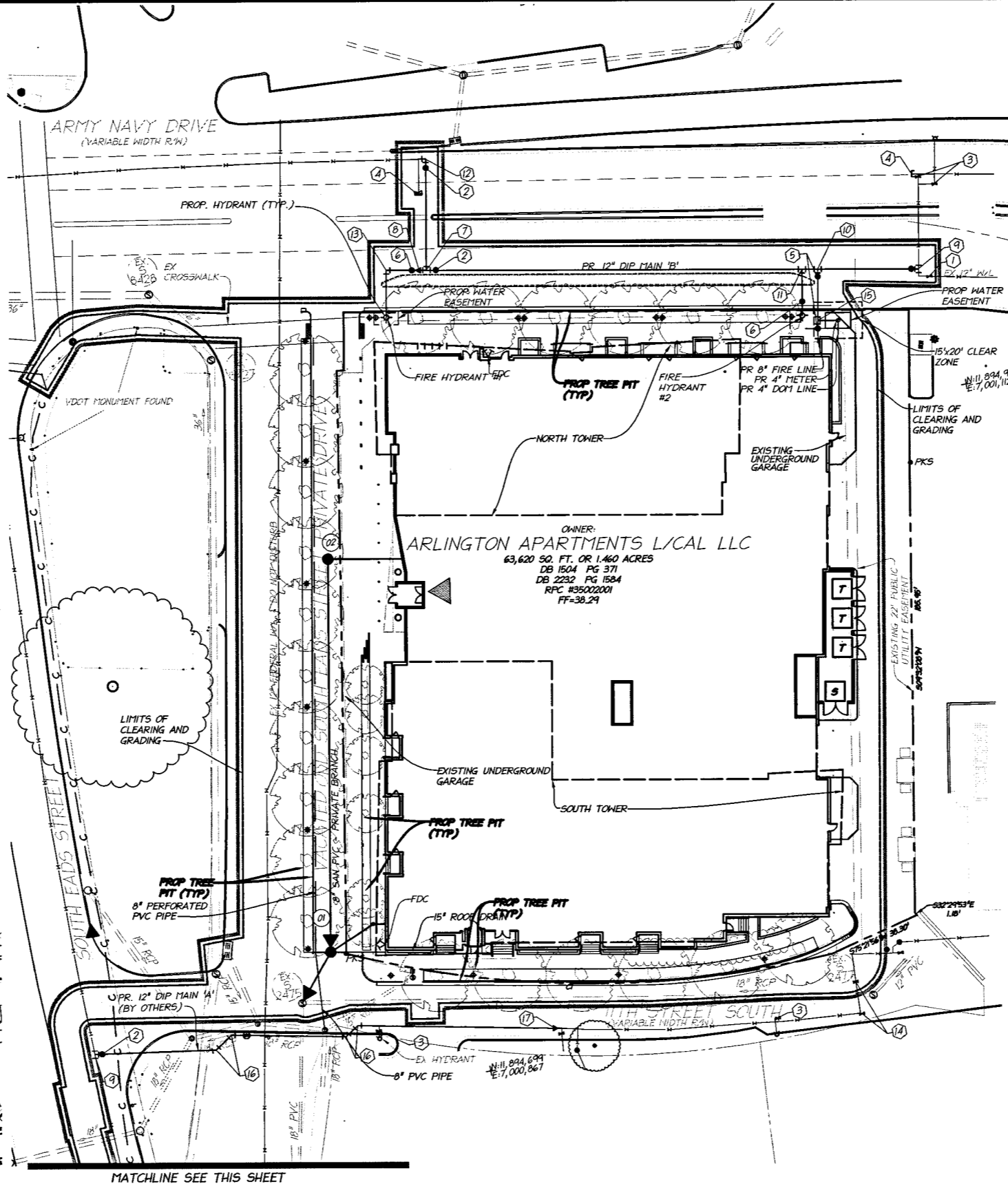
- All sidewalk closures shall be closed with Type 3 Barricades.

Support:

- Refer to Sections 3B-16 through 3B-18 of the 2009 MUTCD for optional stop lines, yield lines and other related TTC devices that may be used to control vehicular traffic at midblock crosswalks.



VCS 1983 GRID NORTH



RPC: #35002001
 EXISTING AREA: 1.65 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

NOTES:
 1.) FOR LEGEND, SEE SHEET C3.0.
 2.) 4" METER TO BE FURNISHED AND INSTALLED BY CONTRACTOR.

APPURTENANCE LEGEND:

- 1 EX. 12" VALVE
- 2 PR. 12" VALVE
- 3 EX. 6" VALVE
- 4 PR. 12" CAP
- 5 PR. 8" VALVE
- 6 PR. 6" VALVE
- 7 PR. 12"x12" TEE
- 8 PR. 12"x6" REDUCER
- 9 PR. 12"x12" TAPPING SLEEVE & VALVE
- 10 PR. 12"x8" TEE
- 11 PR. 12"x6" TEE
- 12 PR. 12" 90 DEGREE H.B.
- 13 PR. 6" 90 DEGREE H.B.
- 14 EX. 8" VALVE
- 15 PR. 8"x4" TEE
- 16 PR. 12" 45 DEGREE H.B.
- 17 PR. 12"x8" REDUCER

Local Review Program- Project Report

Project Name	400 ARMY NAVY DRIVE	
Purpose of new building	MULTI-FAMILY RESIDENTIAL	
Office	sq. ft	
Retail	sq. ft	
Residential	453	UNITS
Other (type: _____)	sq. ft	

WATER MAIN
 New pipe information (excluding fireline length)

Length of water main by size:	Size: 12"	Length: 236'
	Size: 6"	Length: 61'
Number of new fire hydrants:	Number: 2	
Number of blow-offs	Number: _____	

Abandoned pipe and appurtenance information

Length of water main by size:	Size: 6"	Length: 330'
	Size: _____	Length: _____
Number of fire hydrants:	Number: _____	
Number of blow-offs	Number: _____	

Number of water meter connections and size

Residential (SFD)	Number: _____	Size: _____
Multi-Family	Number: 1	Size: 4"
Commercial	Number: _____	Size: _____
Institutional	Number: _____	Size: _____
Fireline	Number: 1	Size: 8"
Irrigation	Number: _____	Size: _____
Other (type: _____)	Number: _____	Size: _____

SANITARY SEWER MAIN
 New pipe information

Length of sanitary sewer by size:	Size: 8"	Length: 186'
Number of Man Holes:	Number: 2	

Abandoned Pipe Information

Length of sanitary sewer by size:	Size: _____	Length: _____
Number of Man Holes:	Number: _____	

Interceptor Information

Type:	Grease: _____	Sand/Oil: _____	Both: _____
Location:	Inside: _____	Outside: _____	
Size:	Size: _____		
New Bldg:	Yes _____	No _____	
Retrofit:	Yes _____	No _____	

11/03/2014

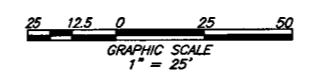
ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES

UTILITY PLAN
THE ALTAIRE
 AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA

SCALE: 1"=25' SHEET: C7.0

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
CI	410.50'	202.59'	28'16"36"	103.40'	N74°50'34"W	200.54'



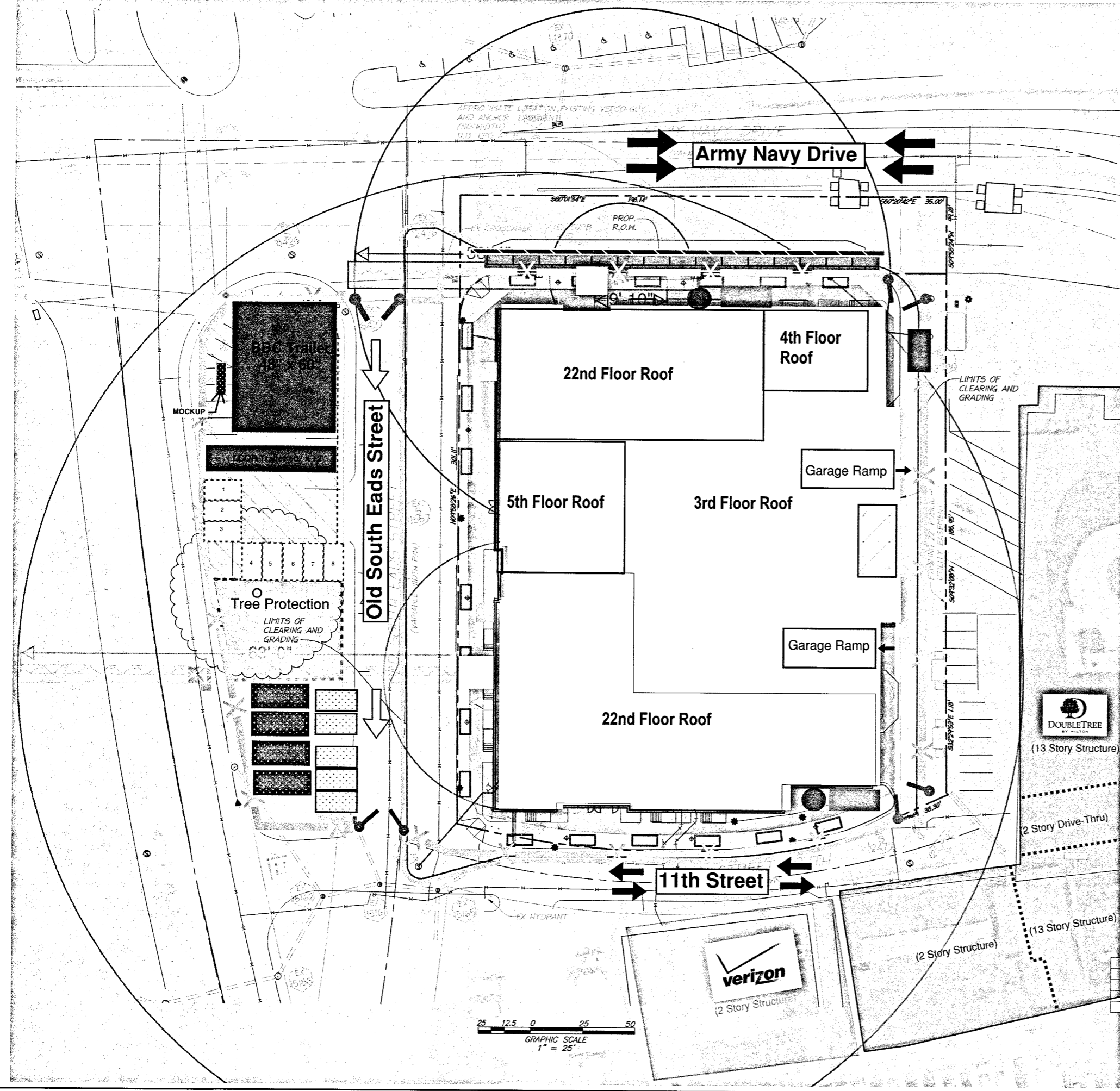
ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

Dennis M. Leach
 DEPUTY DIRECTOR, DES - TRANSPORTATION & DEVELOPMENT

12/2/2015
 APPROVAL DATE

christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax, VA 22031-3907
 703.273.8820 · fax 703.273.7636

09/14/2014 ARMY NAVY 165000102.033 Size: Plan: A:\asst\ham\037\A\UTILITY PLAN.dwg, 11/22/2015 4:51:09 PM, jobahelium_11, christopher consultants, ltd.



-LEGEND-

①	Site Office Trailer	
②	Site Security Fence	
③	Site Entrances/Gates	
④	Temporary Power Shed	
⑤	Storage Sea Can	
⑥	Sub Job Trailer	
⑦	Dumpster	
⑧	Tower Cranes (Final Location TBD)	
⑨	Trash Chute	
⑩	Electrical Vault	
⑪	Man Door	
⑫	Existing Asphalt	
⑬	Hoist	
⑭	Below Grade Garage Demolition	
⑮	Existing Building Demolition	
⑯	Covered walkway	
⑰	Jersey Barrier	

THE ALTAIRE
-Construction Logistics Plan-

RPC: #35002001
 EXISTING AREA: 1.65 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.54'	28°16'36"	103.40'	N79°50'34"W	200.54'

NOTES:

1.) SEE SHEET C3.0 FOR LEGEND.

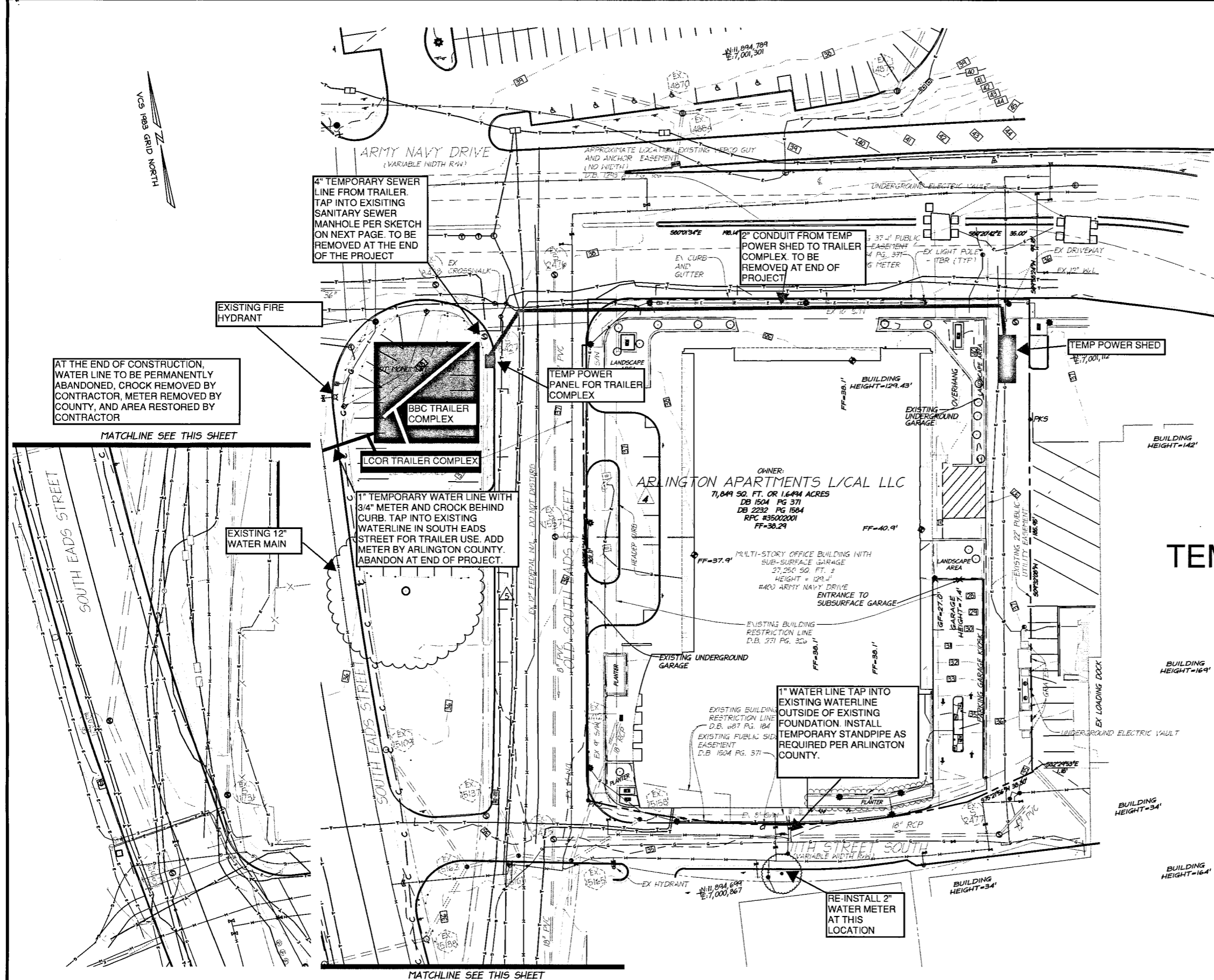
christopher consultants
 engineering · surveying · land planning
 5900 main street (fourth floor) · Fairfax va. 22031-3907
 703.273.6820 · fax: 703.273.7636



GMP SET
 09/11/2015

PROJECT NO: 09104.003.00
 DATE: 05-15-15

DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTM



TEMPORARY UTILITY PLAN

OWNER:
ARLINGTON APARTMENTS L/CAL LLC
 71,849 SQ. FT. OR 1.6494 ACRES
 DB 1504 PG 371
 DB 2232 PG 1504
 RPC #35002001
 FF=38.29

1" WATER LINE TAP INTO EXISTING WATERLINE OUTSIDE OF EXISTING FOUNDATION. INSTALL TEMPORARY STANDPIPE AS REQUIRED PER ARLINGTON COUNTY.

4" TEMPORARY SEWER LINE FROM TRAILER. TAP INTO EXISTING SANITARY SEWER MANHOLE PER SKETCH ON NEXT PAGE. TO BE REMOVED AT THE END OF THE PROJECT

AT THE END OF CONSTRUCTION, WATER LINE TO BE PERMANENTLY ABANDONED, CROCK REMOVED BY CONTRACTOR, METER REMOVED BY COUNTY, AND AREA RESTORED BY CONTRACTOR

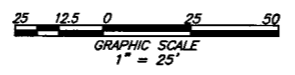
1" TEMPORARY WATER LINE WITH 3/4" METER AND CROCK BEHIND CURB. TAP INTO EXISTING WATERLINE IN SOUTH EADS STREET FOR TRAILER USE. ADD METER BY ARLINGTON COUNTY. ABANDON AT END OF PROJECT.

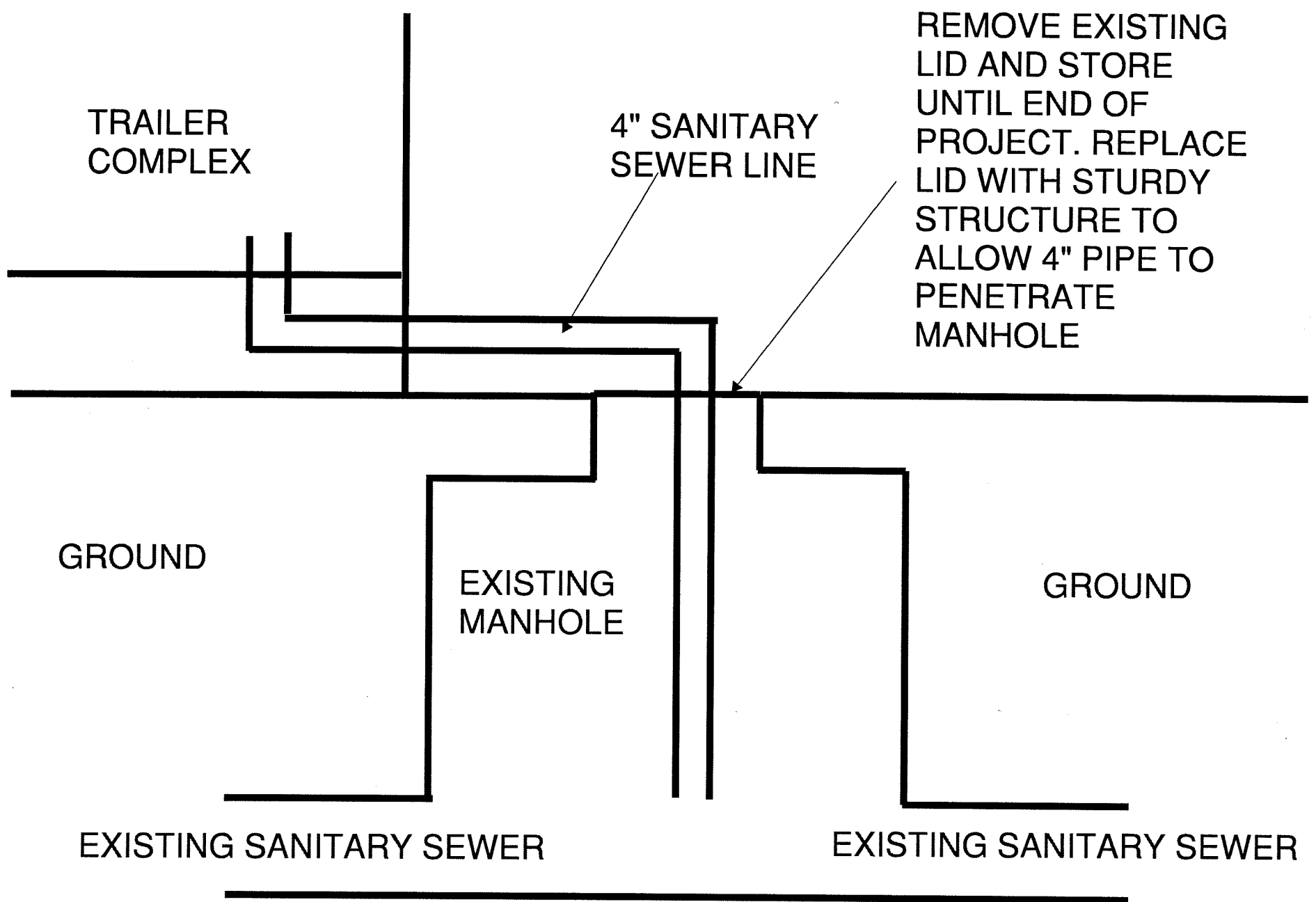
RE-INSTALL 2" WATER METER AT THIS LOCATION

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES

EXISTING CONDITIONS PLAN
THE ALTAIRE
 AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA

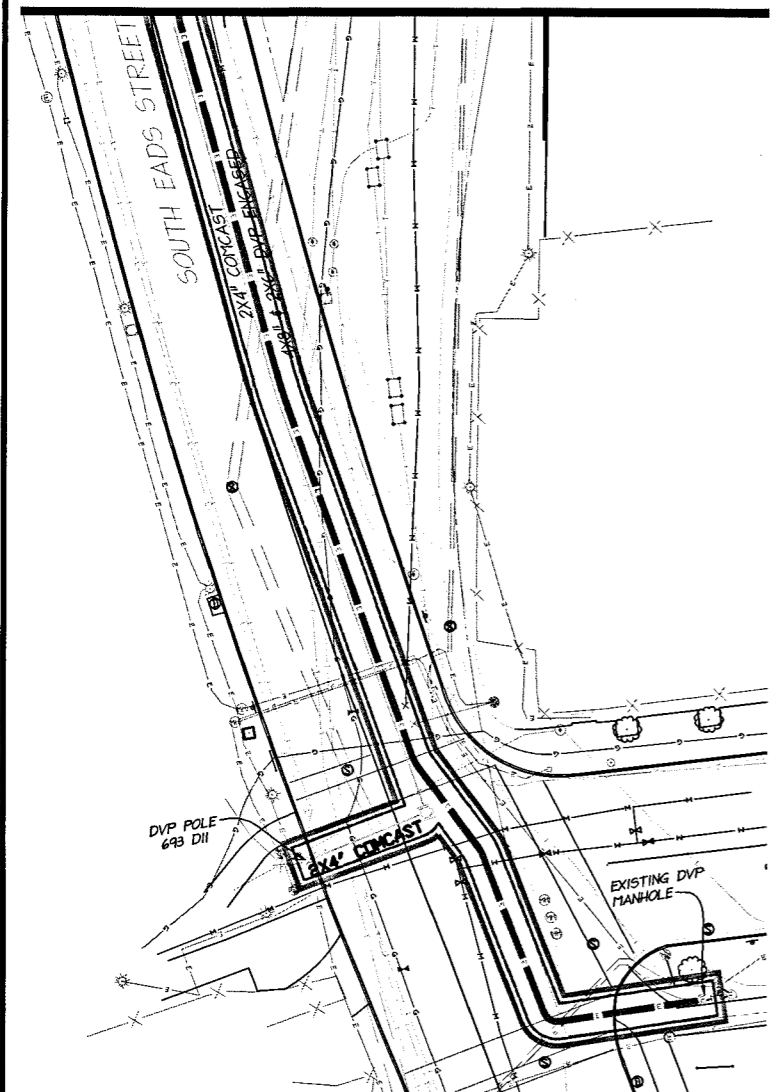
SCALE: 1"=25' SHEET: C4.0





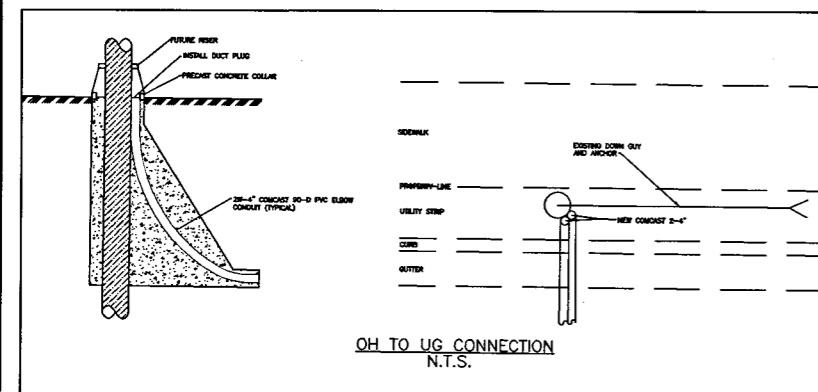
GREEN - EXISTING
 BLUE - TO BE INSTALLED BY CONTRACTOR

MATCHLINE SEE THIS SHEET

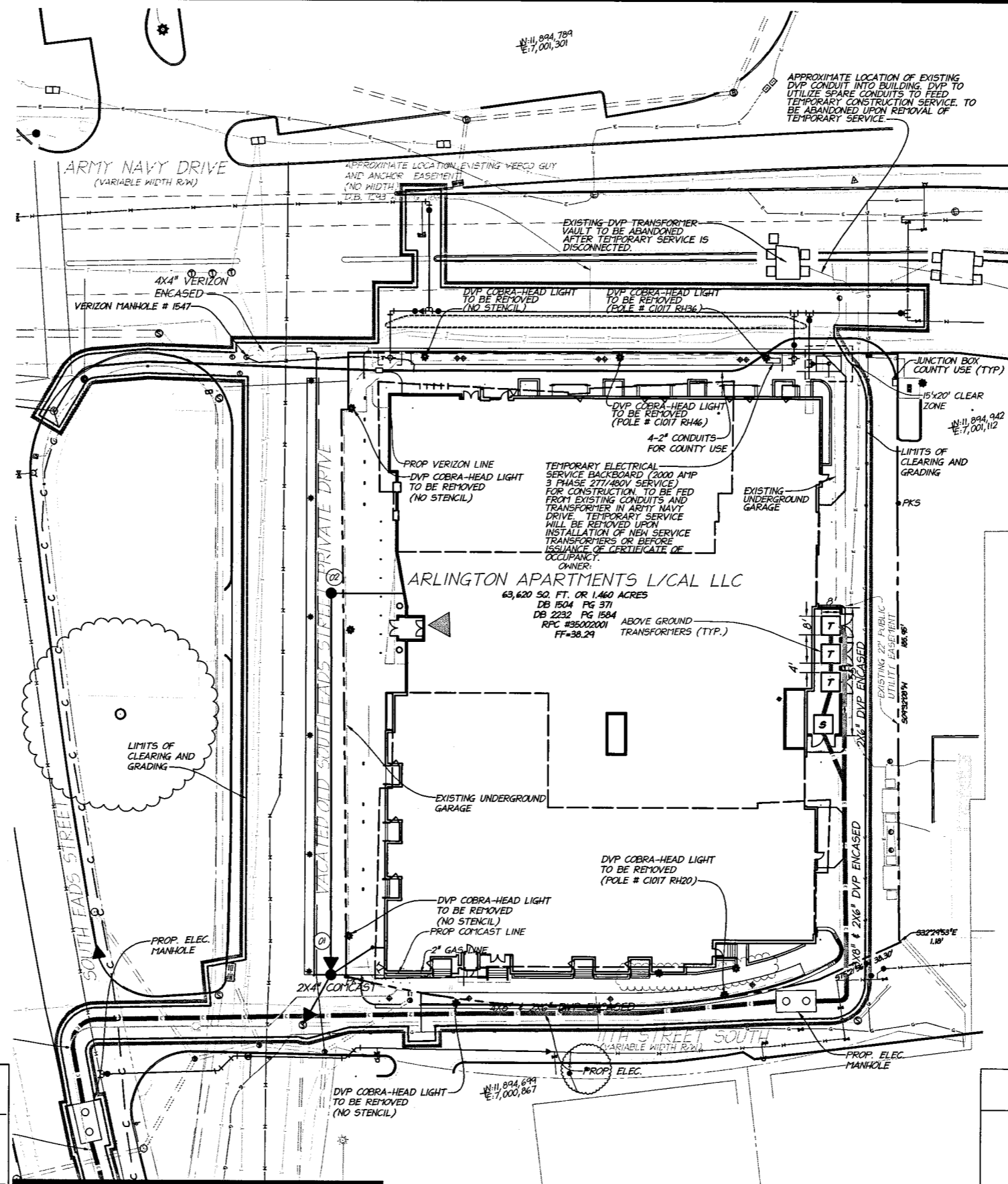


CONDITION 6:

- 1.) REMOVAL AND/OR UNDERGROUNDING OF ALL EXISTING AERIAL UTILITIES LOCATED WITHIN OR ALONG THE PERIPHERY OF THE ENTIRE SITE PLAN TO A DISTANCE OF APPROXIMATELY FIVE (5) FEET BEYOND THE SITE BOUNDARIES OR THE LIMITS OF DISTURBANCE/CLEARANCE, WHICHEVER IS GREATER.
- 2.) ALL UTILITY IMPROVEMENTS NECESSARY TO PROVIDE ADEQUATE UTILITY SERVICES TO THE DEVELOPMENT, OR UTILITY WORK NECESSARY TO PROVIDE TERMINUS FACILITIES ASSOCIATED WITH THE UNDERGROUNDING OF UTILITY LINES SHALL NOT RESULT IN THE INSTALLATION OF ANY NEW OR ADDITIONAL PERMANENT UTILITY POLES, PUSH BRACES, OR AERIAL UTILITY LINES OR DEVICES.
- 3.) SEE SHEETS C14.1 AND C14.2 FOR ELECTRIC AND TELECOM PROFILES.



OH TO UG CONNECTION
N.T.S.

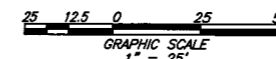


MATCHLINE SEE THIS SHEET

APPROVAL OF THIS CONCEPTUAL DRY UTILITY PLAN SHALL ALLOW FOR THE ISSUANCE OF RIGHT-OF-WAY PERMITS FOR INSTALLATION OF CONDUITS, MANHOLES, HANDHOLES, ECT., WHICH WILL BE CONSTRUCTED FOR THE UTILITY COMPANY'S USE, RIGHT-OF-WAY PERMIT FOR INSTALLATION OF DVP FACILITIES SUCH AS POLES, CABLES, ELECTRICAL DEVICES (TRANSFORMER AND SWITCH BOXES) SHALL NOT BE ISSUED BEFORE APPROVAL OF THE FINAL DRY UTILITY PLAN.

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.59'	28°16'36"	103.40'	N79°50'34"N	200.54'



RPC: #35002001
EXISTING AREA: 1.65 AC OR 71,849 S.F.
VACATION AREA: 0.106 AC OR 4,624 S.F.
DEDICATION AREA: 0.21 AC OR 9,202 S.F.
FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

Virginia Department of Transportation
Division of Construction Management Services
1000 North 17th Street, Suite 100
Arlington, VA 22209

Project: 05-15-15
Date: 05-15-15

Design: JLH
Drawn: JLH
Checked: KMW

NOTES:
1.) NO OVERHEAD LINES ARE LOCATED ON THE PERIPHERY OF THE SITE. NO EXISTING OVERHEAD LINES ARE TO BE UNDERGROUND WITH THIS PLAN.

LEGEND:

- OHU : EX. OVERHEAD UTILITY LINE
- G : EX. GAS LINE
- M : EX. WATER LINE
- E : EX. ELECTRIC UTILITY LINE
- T : EX. TELEPHONE UTILITY LINE
- S : EX. STORM SEWER
- SS : EX. SANITARY SEWER
- EW : PROPOSED WATER LINE
- EP : PROPOSED ELECTRIC LINE
- ET : PROPOSED TELEPHONE LINE
- EG : PROPOSED GAS LINE
- ES : PROPOSED STORM SEWER
- ESS : PROPOSED SANITARY SEWER
- EC : PROPOSED CABLE LINE
- T : TRANSFORMER
- S : SWITCH

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES

DRY UTILITY PLAN
THE ALTAIRE
AMENDMENT TO SITE PLAN #2
400 ARMY NAVY DRIVE
ARLINGTON COUNTY VIRGINIA

SCALE: 1"=25' SHEET: C7.1

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

DERNIS M. LEACH
DEPUTY DIRECTOR, DES - TRANSPORTATION & DEVELOPMENT

12/2/2015
APPROVAL DATE

christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · Fairfax va. 22031-3907
703.273.6820 · fax: 703.273.7638

JOHN L. HELMS
Lic. No. 52485
09/11/2015
PROFESSIONAL ENGINEER

PROJECT NO: 09014.003.00
DATE: 05-15-15

JOHN L. HELMS
Lic. No. 52485
PROFESSIONAL ENGINEER

Digitally signed by John Helms
DN: c=US,
cn=John Helms,
o=christopher consultants,
ou=christopher consultants
Date: 2015.09.10
15:25:17 -0400'

Arlington County Zoning Division
2100 Clarendon Boulevard, Suite 1000
Arlington, VA 22201

Re: Arlington County Use Permit Rev. 1

To Whom It May Concern,

Per Article 12.10.3 of the Arlington County Zoning Ordinance, Balfour Beatty Construction proposes to use the "teardrop" parcel of land adjacent to the construction project at 400 Army Navy Drive. This parcel of land is bound by 11th Street on the south, Old South Eads Street on the east, Army Navy Drive on the north, and South Eads Street on the East. As shown in the attached documents, Balfour Beatty Construction has entered into an agreement with Vornado Realty Trust to use the parcel of land for construction management personnel parking, construction trailers, construction fencing, and miscellaneous storage.

The land use is needed to provide adequate room to place construction trailers and supplies a safe distance away from the demolition of the existing building and construction of the new structure. We plan to incorporate this parcel of land into our overall construction logistics plan to ensure the overall safety of the construction personnel and surrounding community. As discussed with the County, the requirement for the construction fence around the teardrop parking lot and grass area will be determined at a later date per County requirements. Noise will be limited to the Arlington County approved work hours of 7:00am to 6:30pm Monday through Friday and 10:00am to 6:30pm on weekends and holidays. Tree protection will be installed around the existing tree per Arlington County requirements and site field visit on January 4, 2016 with Vincent Verweij with Arlington County Department of Parks and Recreation.

Should you have any additional questions or concerns please contact me at 703-362-9960 or cmcgwier@balfourbeattyus.com

Sincerely,
Craig McGwier

Senior Project Manager
Balfour Beatty Construction

GREG FREW

Permit #: **ZADM160082**

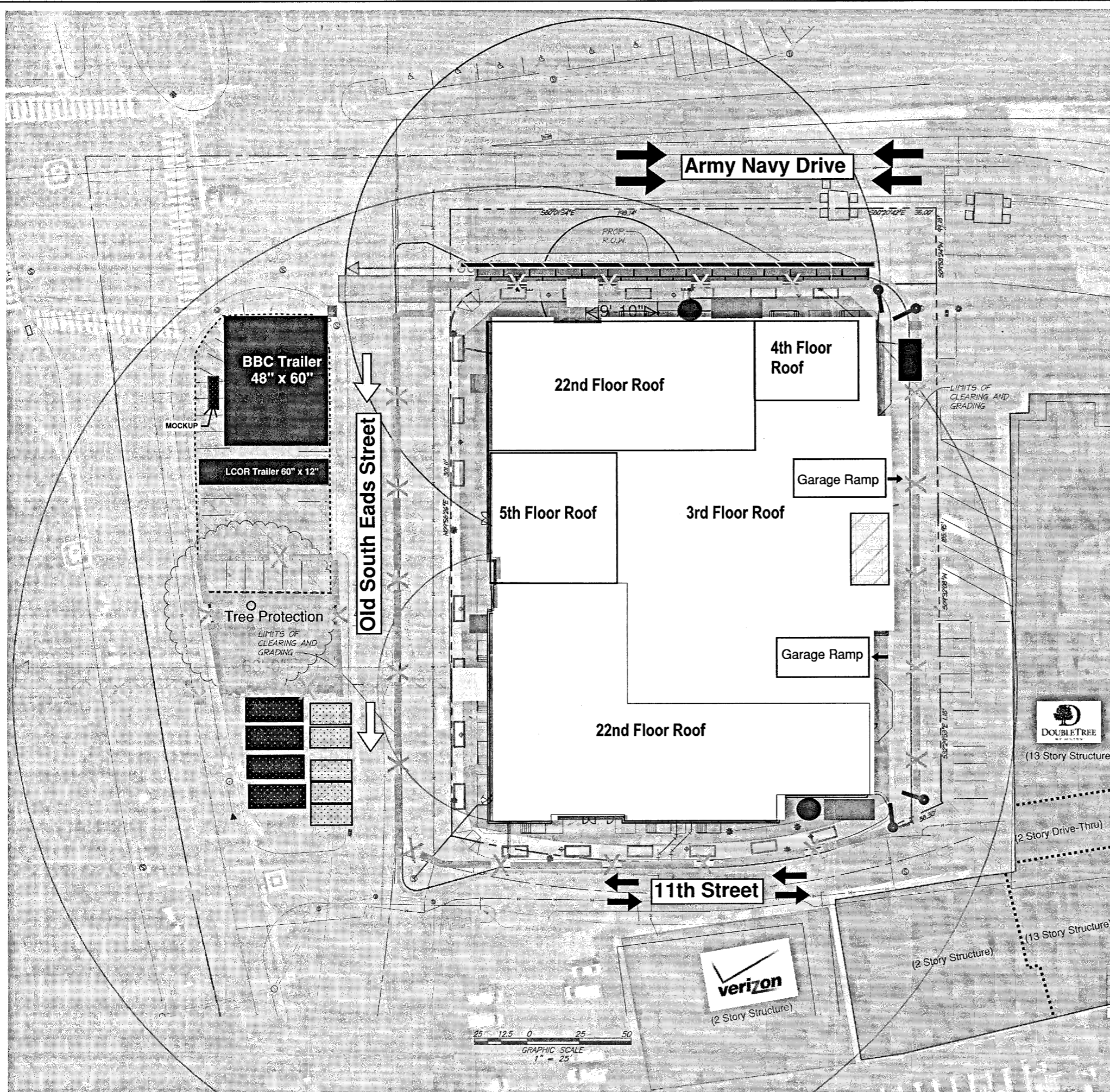
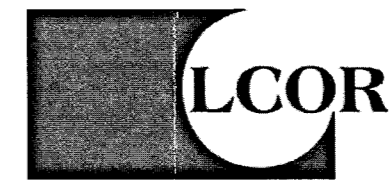
Revision

CPHD Case #:

03/11/2016



* 0 2 1 8 6 9 9 *



-LEGEND-

- ① Site Office Trailer
- ② Site Security Fence
- ③ Site Entrances/Gates
- ④ Temporary Power Shed
- ⑤ Storage Sea Can
- ⑥ Sub Job Trailer
- ⑦ Dumpster
- ⑧ Tower Cranes (Final Location TBD)
- ⑨ Trash Chute
- ⑩ Electrical Vault
- ⑪ Man Door
- ⑫ Existing Asphalt
- ⑬ Hoist
- ⑭ Below Grade Garage Demolition
- ⑮ Existing Building Demolition
- ⑯ Covered walkway
- ⑰ Jersey Barrier

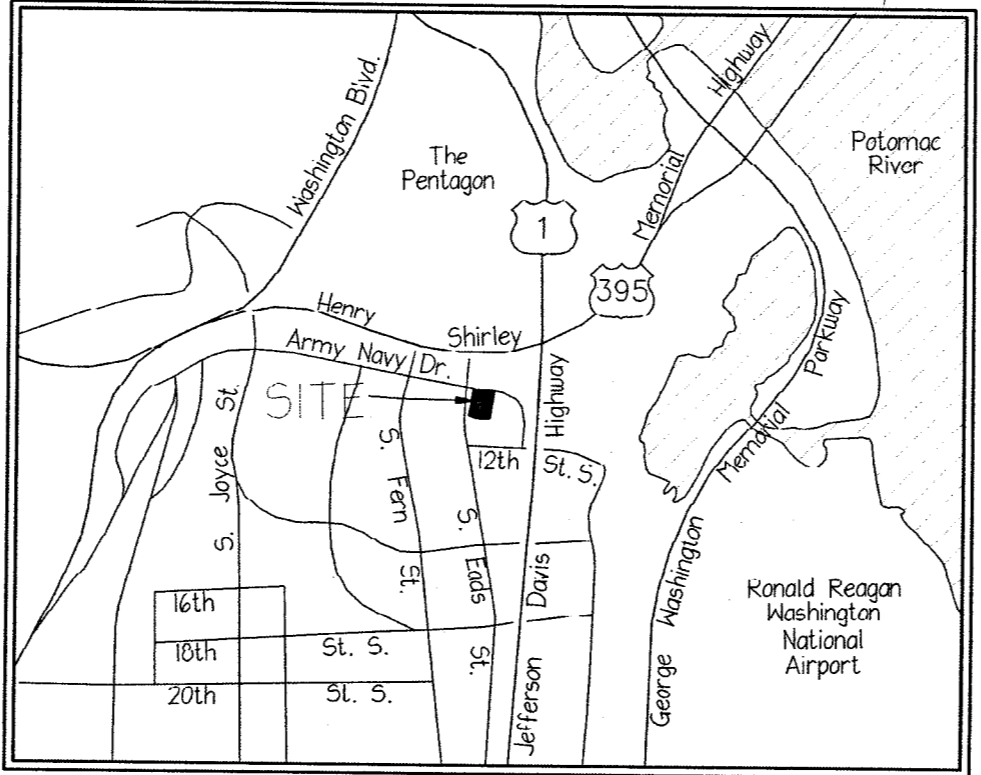
THE ALTAIRE
-Construction Logistics Plan-

AMENDMENT TO SITE PLAN #2 THE ALTAIRE 400 ARMY NAVY DRIVE MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION ARLINGTON, VA

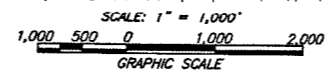
SWM #

**RED-LINE DOCUMENT FOR
TEARDROP USE**

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015



VICINITY MAP



NOTES:

- 1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.
- 2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

SHEET INDEX

CO1.0	COVER SHEET
CO2.0	DEMOLITION PLAN
CO3.0 - CO4.0	MAINTENANCE OF TRAFFIC PLAN

**MOT TO REMAIN THE SAME WITH
THE EXCEPTION OF LOCATION OF
CONSTRUCTION TRAILER AND
MATERIAL STORAGE**

REC: #135002001
EXISTING AREA: 1.64 AC OR 71,849 S.F.
VACATION AREA: 0.106 AC OR 4,624 S.F.
DEDICATION AREA: 0.21 AC OR 9,202 S.F.
FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
2 BETHESDA METRO CENTER
BETHESDA, MD 20814
301.651.0002

2. ARCHITECT:
SK#1
7735 OLD GEORGETOWN RD.
SUITE 1000
BETHESDA, MD 20814
301.654.9300

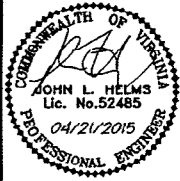
3. PLAN PREPARED BY:

christopher
engineering · surveying · land planning
christopher consultants, ltd.
9900 main street (fourth floor) · Fairfax, VA 22031-3907
703.273.6820 · fax 703.273.7636

4. TRAFFIC ENGINEER:
GOROVE / SLADE
1140 CONNECTICUT AVE, NW
SUITE 600
WASHINGTON, DC 20036
202.540.1424

5. ATTORNEYS:
**WALSH, COLUCCI, LUBELEY,
ETRICH & WALSH, PC**
2200 CLARENDON BLVD
19TH FLOOR
ARLINGTON, VA 22201-3359
703.528.4700

christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · Fairfax VA 22031-3907
703.273.6820 · fax 703.273.7636



PROJECT NO: 09014.003.00
DATE: 04-21-15
DESIGN: JLH
DRAWN: JLH
CHECKED: KMH



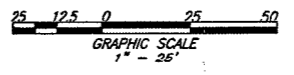
Digitally signed by
John Helms
DN: c=US, cn=John
Helms, o=christopher
consultants,
ou=christopher
consultants
Date: 2015.04.21
16:15:16 -04'00'

**ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES**
COVER SHEET - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
**THE ALTAIRE - AMENDMENT TO SITE PLAN #2
400 ARMY NAVY DRIVE
ARLINGTON COUNTY VIRGINIA**
SCALE: N/A SHEET: CO1.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES
Bridget Obikoya
BRIDGET OBIKOYA
ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
6/15/2015
APPROVAL DATE

RFG: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT
 ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF
 TRANSPORTATION STANDARDS AND SPECIFICATIONS.



NOTES:

- 1.) CONTRACTOR TO CONTACT DES-PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK.
- 2.) CONTRACTOR TO COORDINATE WITH TRANSIT AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED. THE APPLICANT WILL REMOVE THE EXISTING PARKING METERS AND REINSTALL AT THE CONCLUSION OF THE PROJECT AS NECESSARY.
- 3.) ALL EXISTING UTILITIES SERVICING THE SITE WILL BE DISCONNECTED IN ACCORDANCE WITH THE COUNTRY REGULATIONS.
- 4.) ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 5.) ACCESS TO BUILDINGS FOR FIREFIGHTERS SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 503.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 140 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 6.) IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT THE ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
- 7.) NO EXISTING TREES WITHIN THE LIMITS OF DISTURBANCE WILL BE SAVED WITH THIS PROJECT.
- 8.) NO RESEARCH PROTECTED AREAS ARE LOCATED ON THIS SITE.
- 9.) EXISTING STREET LIGHTS SHALL REMAIN AT ALL TIMES UNLESS OTHERWISE. CONTRACTOR SHALL COORDINATE WITH THE COUNTY IF EXISTING LIGHTS CANNOT REMAIN DURING DEMOLITION AND TEMPORARY STREET LIGHTS ARE NEEDED.
- 10.) FOR LEGEND, SEE SHEET C3.0.

XXXXX - TO BE REMOVED
 - PHASE I EXTERIOR DEMOLITION

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.59'	28°16'36"	103.40'	N79°50'34"W	200.54'



Digitally signed by John Helms
 DN: c=US, cn=John Helms, o=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:15:36 -04'00'

AS DISCUSSED WITH THE COUNTY, FENCE REQUIREMENTS AROUND THE TEARDROP WILL BE DETERMINED AT A LATER DATE DEPENDING ON APPROVAL OF ROW TO ENCLOSE THE EAST SIDE OF OLD SOUTH EADS STREET

NOT TO REMAIN THE SAME WITH THE EXCEPTION OF LOCATION OF CONSTRUCTION TRAILER AND MATERIAL STORAGE

CONSTRUCTION TRAILER 1

CONSTRUCTION TRAILER 2

BE ABANDONED
 TREE PROTECTION AREA
 LIMITS OF CLEARING AND GRADING

STORAGE

NARRATIVE:
 400 ARMY NAVY DRIVE CURRENTLY IS AN EXISTING MULTI-STORY OFFICE BUILDING WITH 3 LEVELS OF SUB-SURFACE PARKING. THE EXISTING BUILDING WILL BE DEMOLISHED TO THE FOUNDATION. THE WALLS FOR THE SUB-SURFACE PARKING GARAGE WILL REMAIN AND WILL BE UTILIZED TO STABILIZE AND SUPPORT THE SURROUNDING ROAD NETWORK WITH THE ADDITION OF WIRE TIE-BACKS.
 THE DEMOLITION WILL CONSIST OF A 2 WEEK MOBILIZATION PERIOD, FOLLOWED BY A 2 MONTH PERIOD OF INTERIOR DEMOLITION.
 THE NEXT PHASE OF THE DEMOLITION WILL BE THE REMOVAL OF THE 2 STORY BUILDING AROUND THE EXISTING TOWER AND THE PLANTER BOXES. THIS AREA IS SHOWN ON THE DRAWING AS "PHASE I". THE DEMOLITION OF THIS AREA WILL ALLOW FOR THE PLACEMENT OF THE CRANE PAD. DURING THIS TIME THE CONSTRUCTION ENTRANCE WILL BE LOCATED IN THE CURRENT DROP OFF LANE. THIS AREA IS CURRENTLY STABILIZED AND WILL REMAIN SO DURING THIS PHASE OF CONSTRUCTION. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE I' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. WE ANTICIPATE THAT THIS PHASE WILL BE CONCURRENT WITH THE INTERIOR DEMOLITION.
 AFTER THE DEMOLITION OF THE 2-STORY BUILDING AROUND THE TOWER OCCURS, A 6 TO 8 MONTH DEMOLITION OF THE TOWER WILL OCCUR. AS THE DEMOLITION OCCURS, THE CONSTRUCTION ENTRANCE WILL BE MOVED FROM THE DROP OFF LANE TO AN AREA ADJACENT TO THE CRANE. THIS CONSTRUCTION ENTRANCE WAS REFINED IN PHASE 2 AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. TIE-BACKS WILL BE INSTALLED FROM THE EXISTING WALLS OF THE SUB-SURFACE PARKING GARAGE TO STABILIZE THE WALLS. THE SITE WILL REMAIN SECURE UPON COMPLETION OF THE DEMOLITION. EXCESS DEBRIS WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE APPROPRIATE PERMITS. TEMPORARY OR PERMANENT SEEDING WILL BE USED AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL PLANS.

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 DEMOLITION PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C02.0

DEPARTMENT OF ENVIRONMENTAL SERVICES

 BRIDGET OBKROYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE

christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax VA 22031-3907
 703.273.6820 · fax 703.273.7696

COMMONWEALTH OF VIRGINIA
 JOHN L. HELMS
 Lic. No. 52485
 PROFESSIONAL ENGINEER
 04/21/2015
 PROJECT NO: 09014.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: K11W

AS DISCUSSED WITH THE COUNTY, FENCE REQUIREMENTS AROUND THE TEARDROP WILL BE DETERMINED AT A LATER DATE DEPENDING ON APPROVAL OF ROW TO ENCLOSE THE EAST SIDE OF OLD SOUTH EADS STREET

MOT TO REMAIN THE SAME WITH THE EXCEPTION OF LOCATION OF CONSTRUCTION TRAILER AND MATERIAL STORAGE

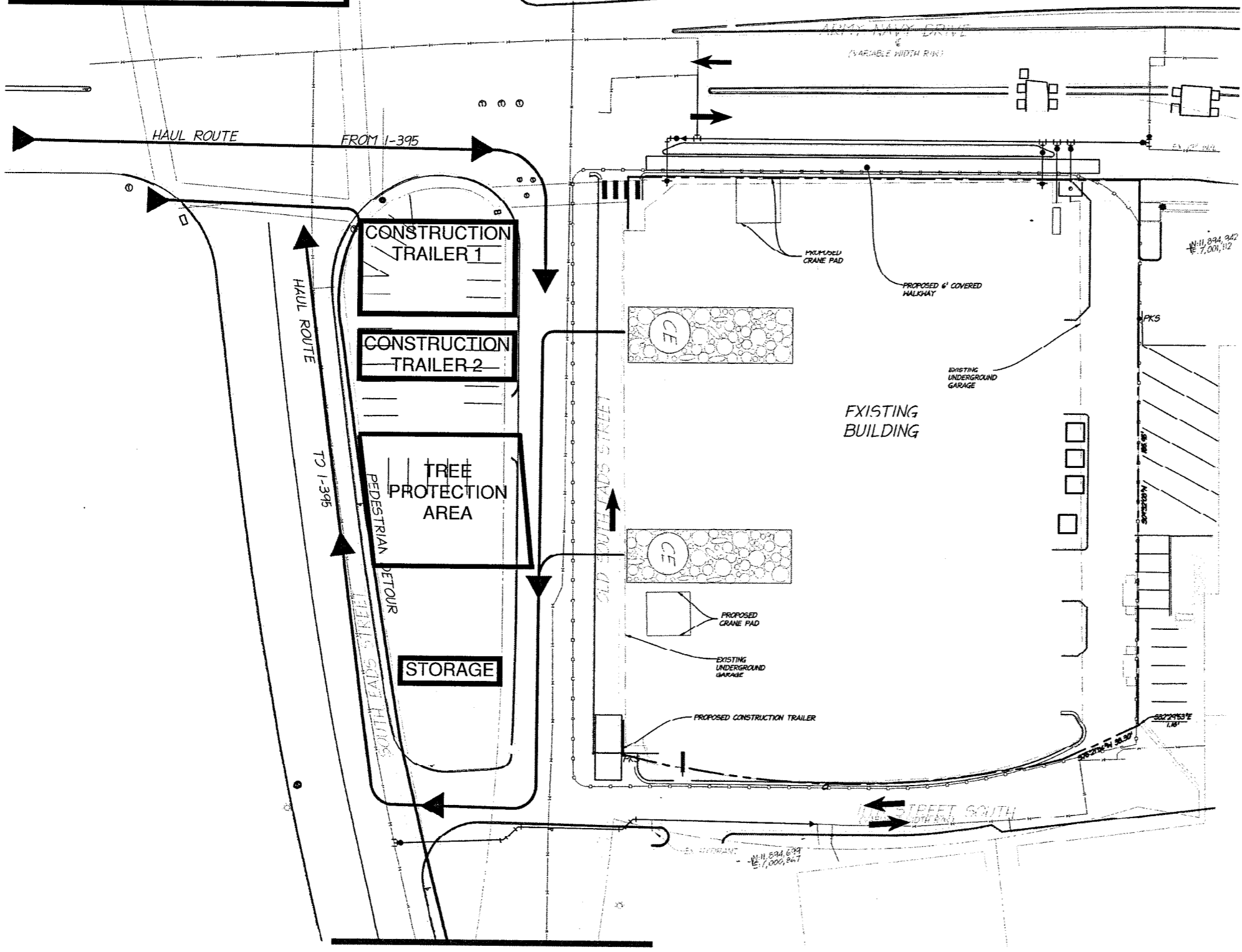
RPC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.
 ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

NARRATIVE:

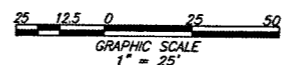
THE TRAFFIC MANAGEMENT PLAN FOR 400 ARMY NAVY DRIVE MUST GUARANTEE THE SAFETY OF THE PUBLIC AND THE CONSTRUCTION TEAM WHILE ENSURING THE FULL FUNCTIONALITY OF THE SURROUNDING TRAVEL WAYS. DURING DEMOLITION, THE PARALLEL PARKING SPACES ALONG THE SOUTH SIDE OF ARMY NAVY DRIVE WILL BE OUT OF SERVICE FOR THE DURATION OF DEMOLITION. OLD SOUTH EADS STREET WILL BE CLOSED TO PUBLIC TRAFFIC. LANES OF TRAFFIC ON ARMY NAVY DRIVE AND ITH STREET WILL REMAIN OPEN. SOUTH EADS WILL CONTINUE TO HAVE 2 WAY TRAFFIC CONSISTING OF 12' TRAVEL WAYS. VEHICLES WILL NOT BE IMPEDED BY CONSTRUCTION TRAFFIC AND EQUIPMENT. DEMOLITION IS EXPECTED TO LAST 8 MONTHS.

NOTES:

1. ALL TRAFFIC MAINTENANCE DEVICES, SIGNING, WORKSPACE AREAS, TAPER AND TRANSITIONAL BUFFER SPACE SHALL BE IN CONFORMANCE WITH THE MUTCD AND THE VIRGINIA WORK AREA PROTECTION MANUAL, CURRENT EDITION.
2. ACCESS TO ALL COUNTY TRAFFIC DEVICES SHALL REMAIN CLEAR AND UNOBTSTRUCTED DURING ALL PHASE OF CONSTRUCTION, ANY DAMAGE TO TRAFFIC CONTROL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION AS SHOWN ON THE ENCLOSED MAINTENANCE OF TRAFFIC PLAN.
4. CONTRACTOR SHALL APPLY FOR CONSTRUCTION PERMIT AND PROVIDE MOT PLANS FOR APPROVAL DURING CONSTRUCTION.
5. SIDEWALK CLOSURE AND LANE CLOSURE SHALL BE IN ACCORDANCE WITH PART 6 OF THE MUTCD AND VIRGINIA WORK AREA PROTECTION MANUAL. FOR SIDEWALK CLOSURES REFER TO FIGURE 6H-28 OF THE MUTCD (SIDEWALK CLOSURES AND BYPASS SIDEWALKS). FOR LANE CLOSURES REFER TO FIGURE 6-3 OF THE VIRGINIA WORK AREA PROTECTION MANUAL AND FIGURES 6H-10, 6H-18, 6H-21 THRU 6H-27 OF THE MUTCD.
6. CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS DURING CONSTRUCTION AND SHALL SUBMIT MOT PLANS FOR APPROVAL AT THAT TIME.
7. ALL SPOILS SHALL BE HAULED PER THE DESIGNATED ROUTE TO THE LIGHT AT ARMY NAVY DRIVE. ALL SPOILS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
8. CONTRACTOR TO ENSURE VEHICLE ACCESS AROUND THE SITE AT ALL TIMES. FLAGGERS TO BE USED AS NEEDED TO HELP CONTROL/MAINTAIN TRAFFIC FLOW.
9. CONSTRUCTION WORKERS ARE NOT PERMITTED TO PARK ON THE STREET.
10. THE CONTRACTOR SHALL IMPLEMENT EACH APPROVED MOT. EXCEPTIONS MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED BELOW. DURING ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES, "EMERGENCY" STREET CLOSURES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE RELATING TO RUPTURE OR POTENTIAL RUPTURE OF A WATER OR GAS MAIN, UNSECURED BUILDING FACADE, OR SIMILAR UNFORESEEABLE PUBLIC DANGER. "EMERGENCY" STREET CLOSURES SHALL NOT INCLUDE CLOSURES FOR SETTING UP OR DISMANTLING OF A CRANE, EXTERIOR BUILDING CONSTRUCTION, MATERIALS DELIVERIES, UTILITIES WORK, OR SIMILAR SITUATIONS TO MOT NOTES SECTION.
11. PARKING SHALL BE RESTRICTED BY THE COUNTY AS PART OF THE RIGHT OF WAY PERMIT. CONTACT PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK AT 703-228-3629.
12. CONTRACTOR SHALL COORDINATE WITH TRANSIT AT 703-228-3049 AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED.
13. ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBTSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.6 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
14. ACCESS TO BUILDINGS FOR FIREFIGHTING SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 508.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 410 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
15. IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
16. THROUGHOUT DEMOLITION, A SIX FOOT MINIMUM, LIGHTED, PROTECTED PEDESTRIAN ACCESS SHALL BE PROVIDED IN ARMY NAVY DRIVE. EXCEPTION MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED IN CONDITION #13, DURING AN ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES OR CONSTRUCTION OF THE SIDEWALK ALONG ARMY NAVY DRIVE.
17. HAUL ROUTE - ALL CONSTRUCTION TRAFFIC TRAVELING WEST ON ITH STREET, SHALL TRAVEL TO SOUTH EADS STREET, TO ARMY NAVY DRIVE, AND THEN TO 395.
18. UNLESS OTHERWISE INDICATED, WORK HOURS FOR CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT OF WAY WILL BE MON-FRI, 9 A.M.-4 P.M. WEEKEND WORK HOURS WILL BE DETERMINED ON A CASE-BY-CASE BASIS. NIGHT WORK ON WEEKDAYS FROM 6 P.M.-7 A.M. AND WEEKENDS FROM 9 P.M.-10 A.M. MUST FILE FOR A NOISE EXEMPTION REQUEST FROM CODE ENFORCEMENT. ALL OTHER CONSTRUCTION ACTIVITIES SHALL TAKE PLACE BETWEEN THE HOURS OF 7 A.M. AND 6:30 P.M. ON WEEKDAYS AND 10 A.M. AND 6:30 P.M. ON WEEKENDS.
19. ALL STREETS SHALL REMAIN. IF TEMPORARY LIGHTING IS NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE INSPECTOR FOR LOCATIONS.



MATCHLINE SEE SHEET C04.0



ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 MAINTENANCE OF TRAFFIC PLAN PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
 THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C03.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

6/15/2015
 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS

APPROVAL DATE

christopher consultants
 engineering · surveying · land planning
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 703.273.6200 · fax 703.273.7656

COMMONWEALTH OF VIRGINIA
 JOHN L. HELMS
 Lic. No. 52485
 04/21/2015
 PROFESSIONAL ENGINEER

PROJECT NO. 0914.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTW

Digitally signed by John Helms
 DN: cn=US, c=John Helms,
 o=christopher consultants,
 ou=christopher consultants
 Date: 2015.05.13 11:12:12 -0400

Arlington County Zoning Division
2100 Clarendon Boulevard, Suite 1000
Arlington, VA 22201

Re: Arlington County Use Permit Rev. 1

To Whom It May Concern,

Per Article 12.10.3 of the Arlington County Zoning Ordinance, Balfour Beatty Construction proposes to use the "teardrop" parcel of land adjacent to the construction project at 400 Army Navy Drive. This parcel of land is bound by 11th Street on the south, Old South Eads Street on the east, Army Navy Drive on the north, and South Eads Street on the East. As shown in the attached documents, Balfour Beatty Construction has entered into an agreement with Vornado Realty Trust to use the parcel of land for construction management personnel parking, construction trailers, construction fencing, and miscellaneous storage.

The land use is needed to provide adequate room to place construction trailers and supplies a safe distance away from the demolition of the existing building and construction of the new structure. We plan to incorporate this parcel of land into our overall construction logistics plan to ensure the overall safety of the construction personnel and surrounding community. As discussed with the County, the requirement for the construction fence around the teardrop parking lot and grass area will be determined at a later date per County requirements. Noise will be limited to the Arlington County approved work hours of 7:00am to 6:30pm Monday through Friday and 10:00am to 6:30pm on weekends and holidays. Tree protection will be installed around the existing tree per Arlington County requirements and site field visit on January 4, 2016 with Vincent Verweij with Arlington County Department of Parks and Recreation.

Should you have any additional questions or concerns please contact me at 703-362-9960 or cmcgwier@balfourbeattyus.com

Sincerely,
Craig McGwier

Senior Project Manager
Balfour Beatty Construction

GREG FREW

Permit #: **ZADM160082**

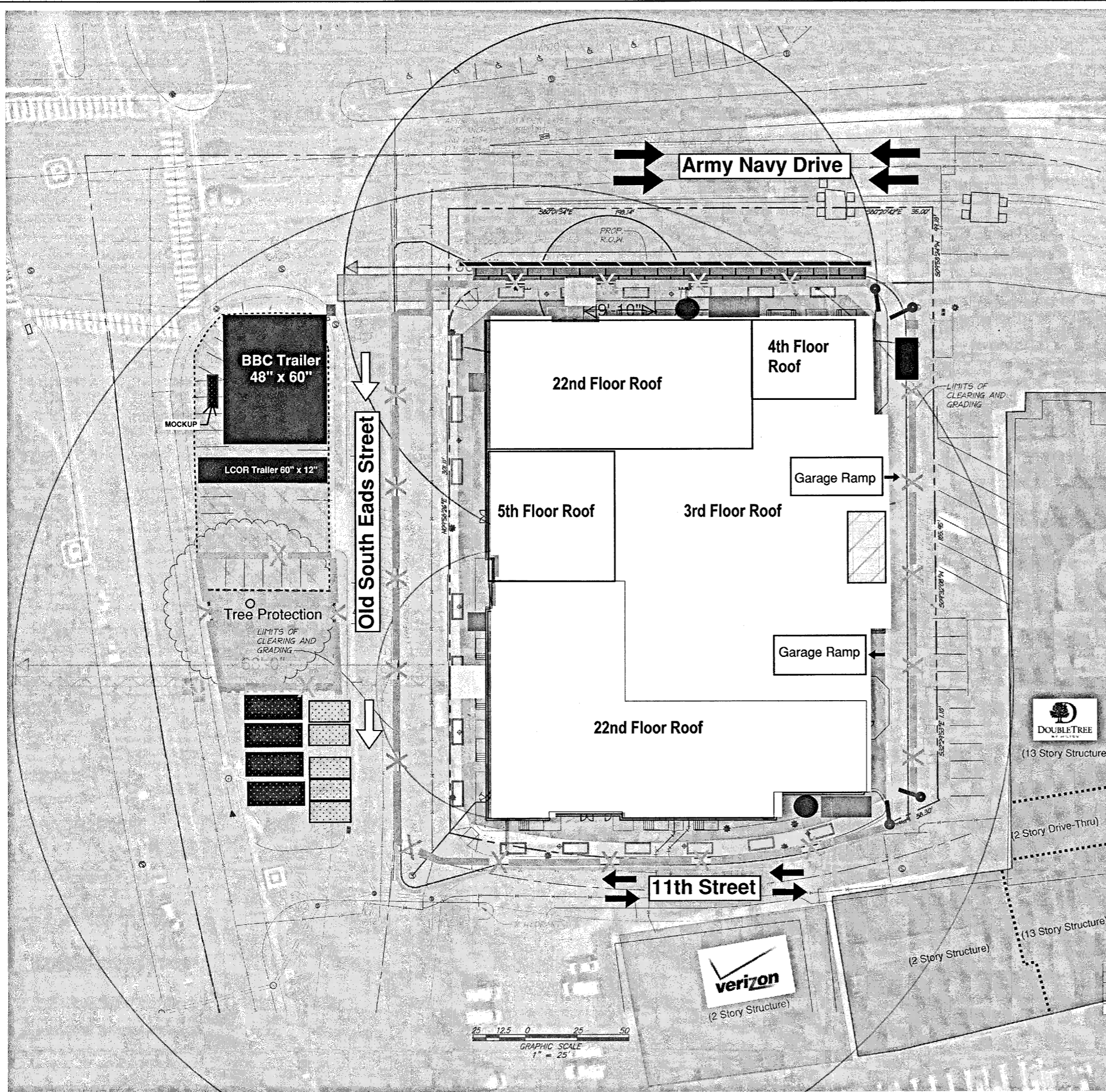
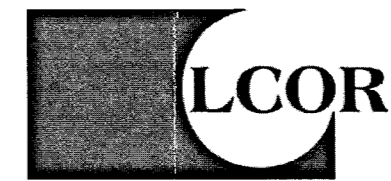
Revision

CPHD Case #:

03/11/2016



* 0 2 1 8 6 9 9 *



-LEGEND-

- ① Site Office Trailer
- ② Site Security Fence
- ③ Site Entrances/Gates
- ④ Temporary Power Shed
- ⑤ Storage Sea Can
- ⑥ Sub Job Trailer
- ⑦ Dumpster
- ⑧ Tower Cranes (Final Location TBD)
- ⑨ Trash Chute
- ⑩ Electrical Vault
- ⑪ Man Door
- ⑫ Existing Asphalt
- ⑬ Hoist
- ⑭ Below Grade Garage Demolition
- ⑮ Existing Building Demolition
- ⑯ Covered walkway
- ⑰ Jersey Barrier

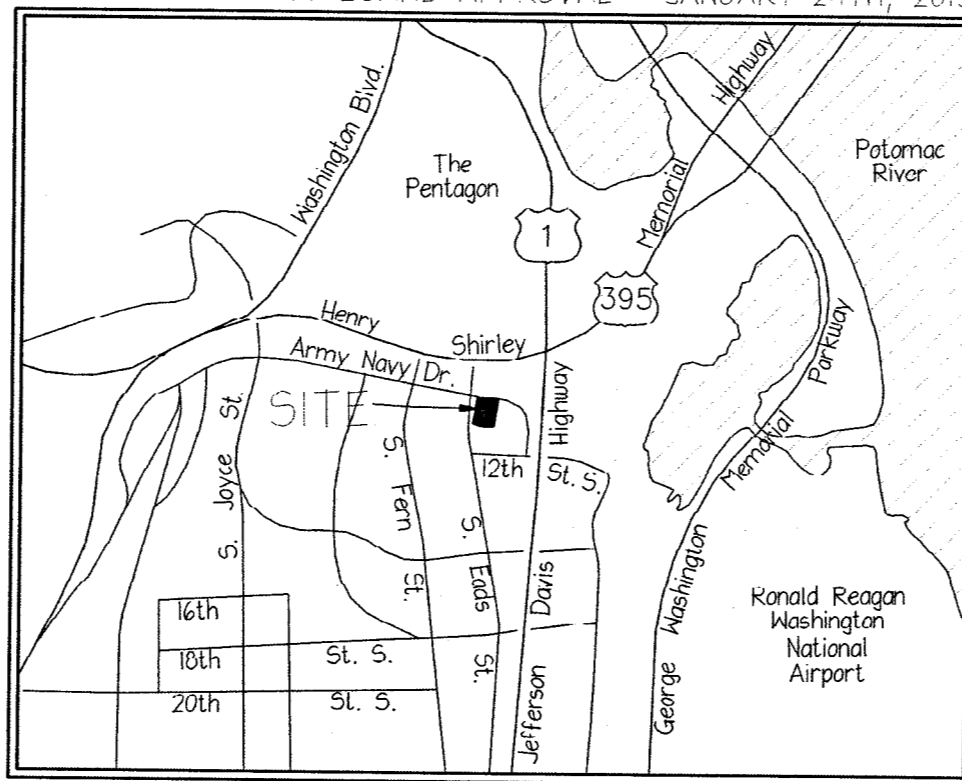
THE ALTAIRE
-Construction Logistics Plan-

AMENDMENT TO SITE PLAN #2 THE ALTAIRE 400 ARMY NAVY DRIVE MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION ARLINGTON, VA

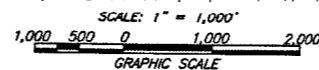
SWM #

**RED-LINE DOCUMENT FOR
TEARDROP USE**

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015



VICINITY MAP



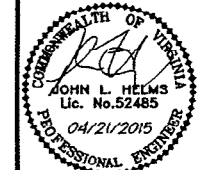
NOTES:

- 1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.
- 2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

REC: #35002001
EXISTING AREA: 1.64 AC OR 71,849 S.F.
VACATION AREA: 0.106 AC OR 4,624 S.F.
DEDICATION AREA: 0.21 AC OR 9,202 S.F.
FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

christopher consultants
engineering · surveying · land planning
9900 main street (fourth floor) · Fairfax, VA 22031-3907
703.273.6820 · fax 703.273.7636



PROJECT NO: 09014.003.00
DATE: 04-21-15
DESIGN: JLH
DRAWN: JLH
CHECKED: KMH

SHEET INDEX

CO1.0 COVER SHEET
CO2.0 DEMOLITION PLAN
CO3.0 - CO4.0 MAINTENANCE OF TRAFFIC PLAN

**MOT TO REMAIN THE SAME WITH
THE EXCEPTION OF LOCATION OF
CONSTRUCTION TRAILER AND
MATERIAL STORAGE**



Digitally signed by
John Helms
DN: c=US, cn=John
Helms, o=christopher
consultants,
ou=christopher
consultants
Date: 2015.04.21
16:15:16 -04'00'

1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
2 BETHESDA METRO CENTER
BETHESDA, MD 20814
301.651.0002

2. ARCHITECT:
SK#1
7735 OLD GEORGETOWN RD.
SUITE 1000
BETHESDA, MD 20814
301.654.9300

3. PLAN PREPARED BY:

christopher
engineering · surveying · land planning
christopher consultants, ltd.
9900 main street (fourth floor) · Fairfax, VA 22031-3907
703.273.6820 · fax 703.273.7636

4. TRAFFIC ENGINEER:
GOROVE / SLADE
1140 CONNECTICUT AVE, NW
SUITE 600
WASHINGTON, DC 20036
202.540.1424

5. ATTORNEYS:
**WALSH, COLUCCI, LUBELEY,
ETRICH & WALSH, PC**
2200 CLARENDON BLVD
19TH FLOOR
ARLINGTON, VA 22201-3359
703.528.4700

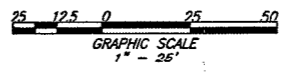
**ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES**
COVER SHEET - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
**THE ALTAIRE - AMENDMENT TO SITE PLAN #2
400 ARMY NAVY DRIVE
ARLINGTON COUNTY VIRGINIA**
SCALE: N/A SHEET: CO1.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

BRIDGET OBIKOYA
ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
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NOTES:

- 1.) CONTRACTOR TO CONTACT DES-PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK.
- 2.) CONTRACTOR TO COORDINATE WITH TRANSIT AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED. THE APPLICANT WILL REMOVE THE EXISTING PARKING METERS AND REINSTALL AT THE CONCLUSION OF THE PROJECT AS NECESSARY.
- 3.) ALL EXISTING UTILITIES SERVICING THE SITE WILL BE DISCONNECTED IN ACCORDANCE WITH THE COUNTRY REGULATIONS.
- 4.) ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 5.) ACCESS TO BUILDINGS FOR FIREFIGHTERS SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 503.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 140 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 6.) IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT THE ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
- 7.) NO EXISTING TREES WITHIN THE LIMITS OF DISTURBANCE WILL BE SAVED WITH THIS PROJECT.
- 8.) NO RESEARCH PROTECTED AREAS ARE LOCATED ON THIS SITE.
- 9.) EXISTING STREET LIGHTS SHALL REMAIN AT ALL TIMES UNLESS OTHERWISE. CONTRACTOR SHALL COORDINATE WITH THE COUNTY IF EXISTING LIGHTS CANNOT REMAIN DURING DEMOLITION AND TEMPORARY STREET LIGHTS ARE NEEDED.
- 10.) FOR LEGEND, SEE SHEET C3.0.

XXXXX - TO BE REMOVED
 - PHASE I EXTERIOR DEMOLITION

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.59'	28°16'36"	103.40'	N79°50'34"W	200.54'

AS DISCUSSED WITH THE COUNTY,
 FENCE REQUIREMENTS AROUND
 THE TEARDROP WILL BE
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 DEPENDING ON APPROVAL OF ROW
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NOT TO REMAIN THE SAME WITH
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 MATERIAL STORAGE

CONSTRUCTION TRAILER 1

CONSTRUCTION TRAILER 2

BE ABANDONED
 TREE PROTECTION AREA
 LIMITS OF CLEARING AND GRADING

STORAGE

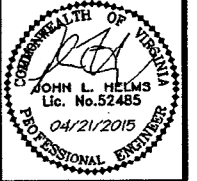
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 DRAWN: JLH
 CHECKED: K11W



Digitally signed by John Helms
 DN: c=US, cn=John Helms, o=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:15:36 -04'00'

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES
 DEMOLITION PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
400 ARMY NAVY DRIVE
ARLINGTON COUNTY VIRGINIA

SCALE: 1"=25' SHEET: C02.0



ARLINGTON VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES

6/15/2015
APPROVAL DATE

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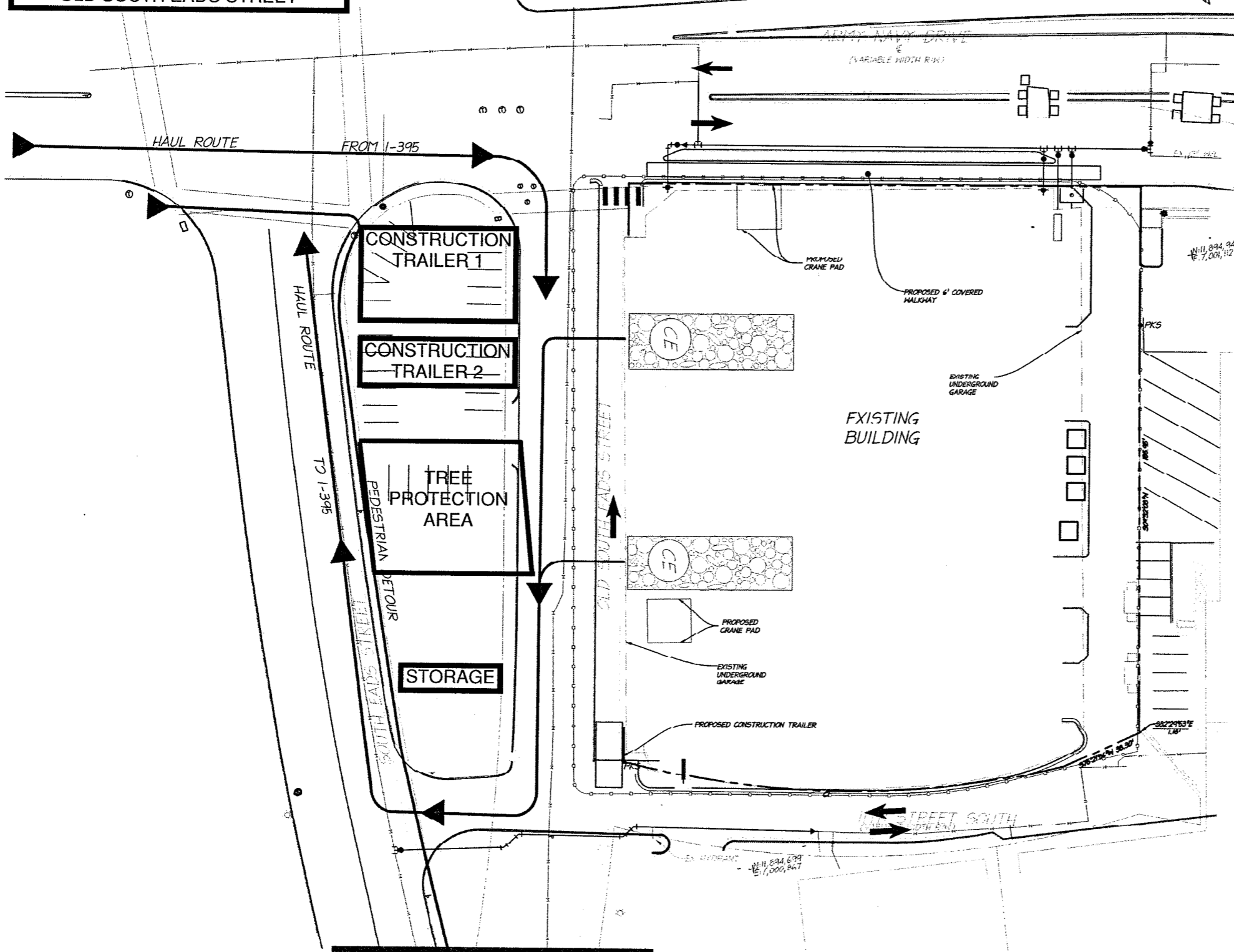
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NARRATIVE:

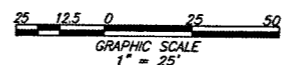
THE TRAFFIC MANAGEMENT PLAN FOR 400 ARMY NAVY DRIVE MUST GUARANTEE THE SAFETY OF THE PUBLIC AND THE CONSTRUCTION TEAM WHILE ENSURING THE FULL FUNCTIONALITY OF THE SURROUNDING TRAVEL WAYS. DURING DEMOLITION, THE PARALLEL PARKING SPACES ALONG THE SOUTH SIDE OF ARMY NAVY DRIVE WILL BE OUT OF SERVICE FOR THE DURATION OF DEMOLITION. OLD SOUTH EADS STREET WILL BE CLOSED TO PUBLIC TRAFFIC. LANES OF TRAFFIC ON ARMY NAVY DRIVE AND ITH STREET WILL REMAIN OPEN. SOUTH EADS WILL CONTINUE TO HAVE 2 WAY TRAFFIC CONSISTING OF 12' TRAVEL WAYS. VEHICLES WILL NOT BE IMPEDED BY CONSTRUCTION TRAFFIC AND EQUIPMENT. DEMOLITION IS EXPECTED TO LAST 8 MONTHS.

NOTES:

1. ALL TRAFFIC MAINTENANCE DEVICES, SIGNING, WORKSPACE AREAS, TAPER AND TRANSITIONAL BUFFER SPACE SHALL BE IN CONFORMANCE WITH THE MUTCD AND THE VIRGINIA WORK AREA PROTECTION MANUAL, CURRENT EDITION.
2. ACCESS TO ALL COUNTY TRAFFIC DEVICES SHALL REMAIN CLEAR AND UNOBTSTRUCTED DURING ALL PHASE OF CONSTRUCTION, ANY DAMAGE TO TRAFFIC CONTROL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION AS SHOWN ON THE ENCLOSED MAINTENANCE OF TRAFFIC PLAN.
4. CONTRACTOR SHALL APPLY FOR CONSTRUCTION PERMIT AND PROVIDE MOT PLANS FOR APPROVAL DURING CONSTRUCTION.
5. SIDEWALK CLOSURE AND LANE CLOSURE SHALL BE IN ACCORDANCE WITH PART 6 OF THE MUTCD AND VIRGINIA WORK AREA PROTECTION MANUAL. FOR SIDEWALK CLOSURES REFER TO FIGURE 6H-28 OF THE MUTCD (SIDEWALK CLOSURES AND BYPASS SIDEWALKS). FOR LANE CLOSURES REFER TO FIGURE 6-3 OF THE VIRGINIA WORK AREA PROTECTION MANUAL AND FIGURES 6H-10, 6H-18, 6H-21 THRU 6H-27 OF THE MUTCD.
6. CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS DURING CONSTRUCTION AND SHALL SUBMIT MOT PLANS FOR APPROVAL AT THAT TIME.
7. ALL SPOILS SHALL BE HAULED PER THE DESIGNATED ROUTE TO THE LIGHT AT ARMY NAVY DRIVE. ALL SPOILS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
8. CONTRACTOR TO ENSURE VEHICLE ACCESS AROUND THE SITE AT ALL TIMES. FLAGGERS TO BE USED AS NEEDED TO HELP CONTROL/MAINTAIN TRAFFIC FLOW.
9. CONSTRUCTION WORKERS ARE NOT PERMITTED TO PARK ON THE STREET.
10. THE CONTRACTOR SHALL IMPLEMENT EACH APPROVED MOT. EXCEPTIONS MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED BELOW. DURING ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES, "EMERGENCY" STREET CLOSURES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE RELATING TO RUPTURE OR POTENTIAL RUPTURE OF A WATER OR GAS MAIN, UNSECURED BUILDING FACADE, OR SIMILAR UNFORESEEABLE PUBLIC DANGER. "EMERGENCY" STREET CLOSURES SHALL NOT INCLUDE CLOSURES FOR SETTING UP OR DISMANTLING OF A CRANE, EXTERIOR BUILDING CONSTRUCTION, MATERIALS DELIVERIES, UTILITIES WORK, OR SIMILAR SITUATIONS TO MOT NOTES SECTION.
11. PARKING SHALL BE RESTRICTED BY THE COUNTY AS PART OF THE RIGHT OF WAY PERMIT. CONTACT PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK AT 703-228-3629.
12. CONTRACTOR SHALL COORDINATE WITH TRANSIT AT 703-228-3049 AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED.
13. ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBTSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.6 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
14. ACCESS TO BUILDINGS FOR FIREFIGHTING SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 508.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 410 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
15. IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
16. THROUGHOUT DEMOLITION, A SIX FOOT MINIMUM, LIGHTED, PROTECTED PEDESTRIAN ACCESS SHALL BE PROVIDED IN ARMY NAVY DRIVE. EXCEPTION MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED IN CONDITION #13, DURING AN ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES OR CONSTRUCTION OF THE SIDEWALK ALONG ARMY NAVY DRIVE.
17. HAUL ROUTE - ALL CONSTRUCTION TRAFFIC TRAVELING WEST ON ITH STREET, SHALL TRAVEL TO SOUTH EADS STREET, TO ARMY NAVY DRIVE, AND THEN TO 395.
18. UNLESS OTHERWISE INDICATED, WORK HOURS FOR CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT OF WAY WILL BE MON-FRI, 9 A.M.-4 P.M. WEEKEND WORK HOURS WILL BE DETERMINED ON A CASE-BY-CASE BASIS. NIGHT WORK ON WEEKDAYS FROM 6 P.M.-7 A.M. AND WEEKENDS FROM 9 P.M.-10 A.M. MUST FILE FOR A NOISE EXEMPTION REQUEST FROM CODE ENFORCEMENT. ALL OTHER CONSTRUCTION ACTIVITIES SHALL TAKE PLACE BETWEEN THE HOURS OF 7 A.M. AND 6:30 P.M. ON WEEKDAYS AND 10 A.M. AND 6:30 P.M. ON WEEKENDS.
19. ALL STREETS SHALL REMAIN. IF TEMPORARY LIGHTING IS NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE INSPECTOR FOR LOCATIONS.



MATCHLINE SEE SHEET C04.0



ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 MAINTENANCE OF TRAFFIC PLAN PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
 THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C03.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS

6/15/2015
 APPROVAL DATE

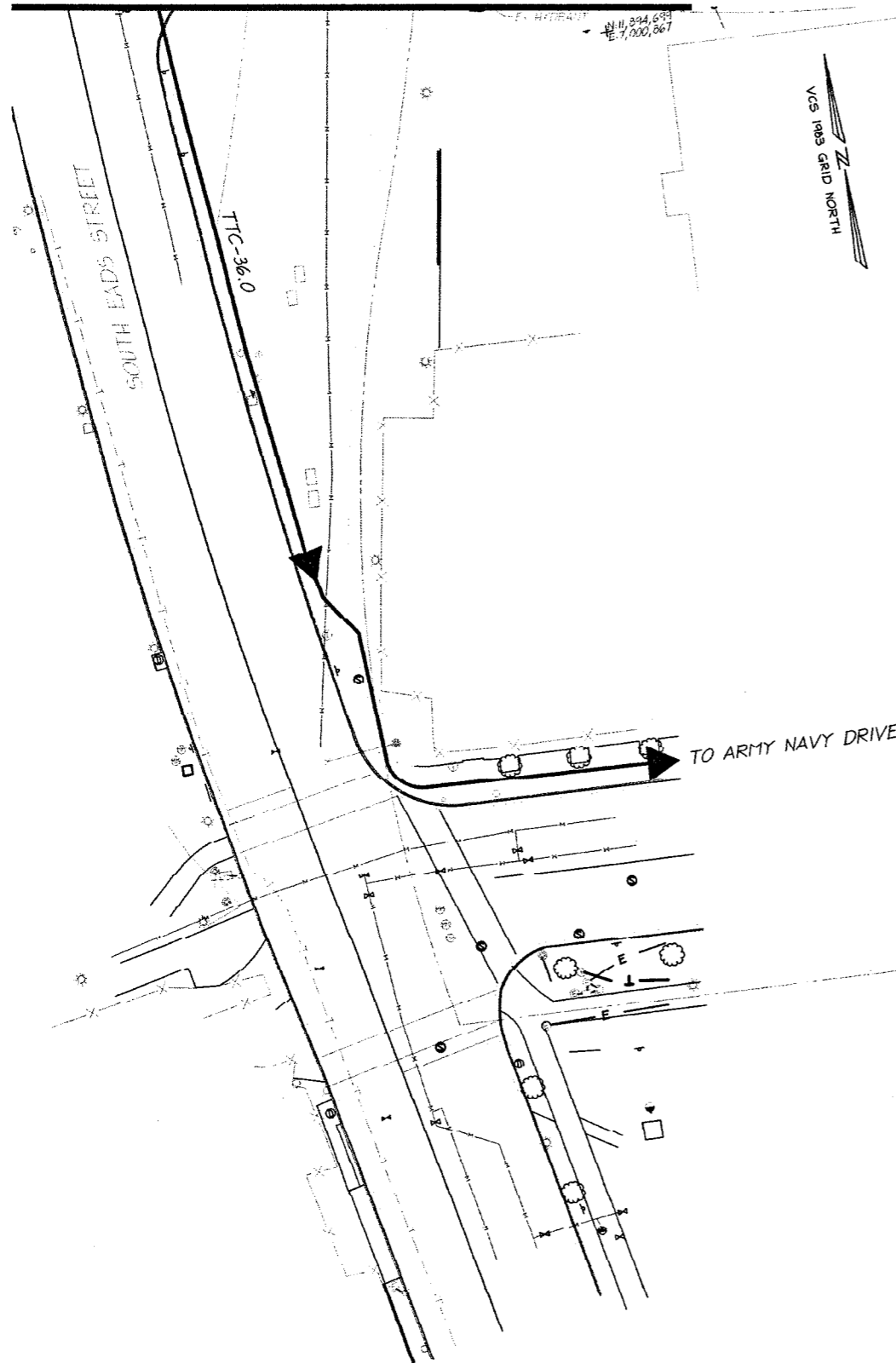
christopher consultants
 engineering · surveying · land planning
 6900 main street (fourth floor) · Fairfax VA 22031-3907
 703.273.6200 · fax 703.273.7656

COMMONWEALTH OF VIRGINIA
 JOHN L. HELMS
 Lic. No. 52485
 04/21/2015
 PROFESSIONAL ENGINEER

PROJECT NO. 0914.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTW

Digitally signed by John Helms
 DN: cn=US, c=John Helms,
 o=christopher consultants,
 ou=christopher consultants
 Date: 2015.05.13 11:12:12 -0400

MATCHLINE SEE SHEET C03.0



TTC-36.0:

Page 6H-78 August 2011

Typical Traffic Control
Crosswalk Closure and Pedestrian Detour Operation
(Figure TTC-36.0)

NOTES

Standard:

- When crosswalks or other pedestrian facilities are closed or relocated, temporary facilities shall be delineated and shall include accessibility features consistent with the features present in the existing pedestrian facility.
- Curb parking shall be prohibited for at least 50 feet in advance of the midblock crosswalk.

Guidance:

- Audible information devices should be considered where midblock closings and changed crosswalk areas cause inadequate communication to be provided to pedestrians who have visual disabilities.
- Pedestrian traffic signal displays controlling closed crosswalks should be covered or deactivated.
- Temporary markings should be considered for operations exceeding three days in duration.

Option:

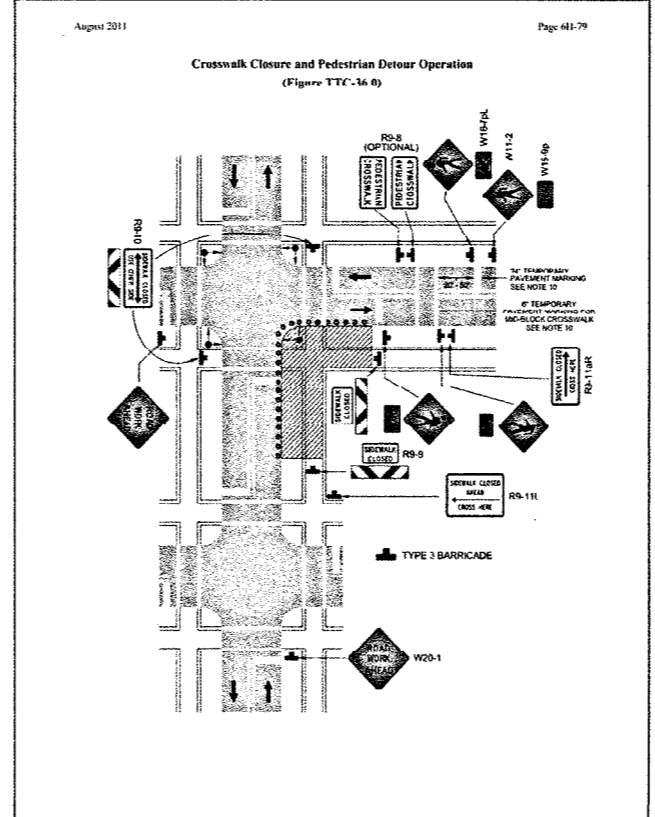
- Only the TTC devices related to pedestrians are shown. Other devices, such as lane closure signing or ROAD NARROWS (W5-1) signs, may be used to control vehicular traffic.
- For nighttime closures, Type A Flashing warning lights may be used on barricades supporting signs and closing sidewalks.
- In order to maintain the systematic use of the fluorescent yellow-green background for pedestrian, bicycle, and school warning signs in a jurisdiction, the fluorescent yellow-green background for pedestrian, bicycle, and school warning signs may be used in TTC areas.

Standard:

- All sidewalk closures shall be closed with Type 3 Barricades.

Support:

- Refer to Sections 3B-16 through 3B-18 of the 2009 MUTCD for optional stop lines, yield lines and other related TTC devices that may be used to control vehicular traffic at midblock crosswalks.



RPC: #35002001
 EXISTING AREA: 1.61 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax VA 22031-3907
 703.273.6920 · fax 703.273.7636

COMMONWEALTH OF VIRGINIA
 JOHN L. HELMS
 Lic. No. 52485
 04/21/2015
 PROFESSIONAL ENGINEER

PROJECT NO: 04014.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMW

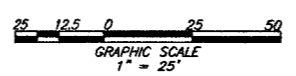
COMMONWEALTH OF VIRGINIA
 JOHN L. HELMS
 Lic. No. 52485
 PROFESSIONAL ENGINEER

Digitally signed by John Helms
 DN: c=US, cn=John Helms, o=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:16:05 -04'00'

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES

MAINTENANCE OF TRAFFIC PLAN PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA

SCALE: 1"=25' SHEET: C04.0



ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

6/15/2015
 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS APPROVAL DATE

USE PERMIT APPLICATION

Arlington County Zoning Division

GREG FREW

Permit #: ZADM160082

Revision

PROJECT NAME: 400 ARMY NAVY DRIVE - THE ALTAIRE

CPHD Case #:

02/08/2016

SUBJECT PROPERTY IDENTIFICATION:

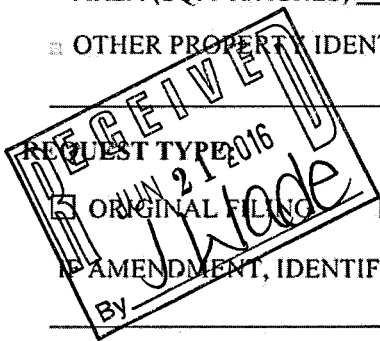


ADDRESS TEARDROP PARCEL OF LAND ADJACENT O 4

REAL PROPERTY CODE(S) 35003437

AREA (SQ. FT./ACRES) 12,000 SF ZONING DISTRICT(S) C-O-2.5

OTHER PROPERTY IDENTIFIERS TEARDROP PARCEL ADJACENT TO 400 ARMY NAVY DRIVE



REQUEST TYPE

ORIGINAL FILING AMENDMENT TO EXISTING USE PERMIT REVISION TO APPLICATION

IF AMENDMENT, IDENTIFY EXISTING USE PERMITS: _____

REQUESTED USE:

- CHILD CARE* TELECOMMUNICATIONS* OUTDOOR CAFÉ* LIVE ENTERTAINMENT*
- TRANSITIONAL USE SUBDIVISION PER §10. _____ KIOSK COMPREHENSIVE SIGN PLAN
- OTHER AS SPECIFIED LOCATION OF CONSTRUCTION MANAGEMENT OFFICE TRAILER AND MISC. STORAGE

*NOTE: In addition to the information on this form, the applicant must also provide associated supplemental information as provided for in the attached "Supplemental Information" document.

USE REQUESTED IS PERMITTED UNDER:

ARTICLE 12.10.3 OF THE ARLINGTON COUNTY ZONING ORDINANCE

APPLICANT INFORMATION:

OWNER OF RECORD CONTRACT OWNER** OCCUPANT**

NAME BALFOUR BEATTY CONSTRUCTION

ADDRESS 11325 RANDOM HILLS ROAD SUITE 500 FAIRFAX, VA 22030

PHONE NUMBER 703-609-5153 EMAIL GFREW@BALFOURBEATTYUS.COM

SIGNATURE

**NOTE: Property owner must consent to submission of this application in writing; include consent with application.

IF APPLYING ON BEHALF OF APPLICANT PROVIDE THE FOLLOWING:

NAME _____ TITLE _____

ADDRESS _____

PHONE NUMBER _____ EMAIL _____

CONTINUED >

DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND DEVELOPMENT
ZONING DIVISION

2100 CLARENDON BOULEVARD SUITE #1000
ARLINGTON, VIRGINIA 22201
PHONE (703) 228-3883 • FAX (703) 228-3896

SP2-4-16-1

USE PERMIT APPLICATION

SUPPLEMENTAL INFORMATION

Arlington County Zoning Division

WHERE NOT PREVIOUSLY PROVIDED, PLEASE PROVIDE THE FOLLOWING SUPPLEMENTAL INFORMATION WITH SUBMITTAL OF THIS APPLICATION TO THE ZONING DIVISION

CHILD CARE USE PERMIT (11 COPIES)

YES NO

- Child Care Center Family Day Care Home
- Have you obtained a Memorandum of Support from Child Care Services indicating their analysis for expansion of the proposed number of children and your understanding of the requirements of Chapter 52 or Chapter 59 of the Arlington County Code? YES NO
- Is this an expansion of an existing Child Care Center or Family Day Care Home? If YES, provide associated permit number. YES NO
Existing Use Permit Number: _____
- Is there an outdoor play area? If YES, provide the square footage of the outdoor play area below. YES NO
Outdoor Play Area Square Footage: _____
- Is the outdoor play area fenced? If YES, provide description; include height, materials and finish. YES NO
Fence Description: _____

- Will there be care for children under 24-30 months of age? If YES, provide number below. YES NO
Number of Children: under 24 months of age: _____ under 30 months of age: _____
- Provide the number of staff onsite: Existing _____ Proposed _____
- Provide the total number of children: Existing _____ Proposed _____
- Provide a Final House Location Plat depicting all EXISTING site conditions/improvements. Plat must be scaled using an Engineer's Scale.
- Provide a House Location Plat depicting all PROPOSED site conditions/improvements. Plat must be scaled using an engineer's scale. Please note that a plat containing a Land Surveyor's or Engineer's seal is copyrighted and can not be altered without permission.
- If not provided in previous two plats/drawings please provide an additional scaled drawing (engineer's scale) depicting site parking, play area(s), fencing, additional structures and onsite circulation for pick up and drop off of the children.
- Provide a list of outdoor play equipment. Include photos or design details if able.
- Provide a scaled floor plan drawing (architect's scale) depicting all areas/rooms where children and their teachers/care takers will be present. Please be sure to note all exits that lead directly to the outside.
- Provide a Letter/Statement of Support from affected Civic Associations; If none, provide evidence of outreach to affected Civic Associations OR an explanation as to why no civic associations are affected by the proposed use.
- Provide Zoning Tabulations as necessary. (e.g. required and proposed parking, setbacks, height, lot coverage, etc.)

TELECOMMUNICATIONS USE PERMIT (11 COPIES)

YES NO

- Is this an expansion of an existing telecommunications facility? If YES, provide associated Use Permit number. YES NO
Existing Use Permit Number: _____
- Is the proposed telecommunications equipment replacing existing telecommunications equipment? If YES, provide a list of the equipment to be replaced. YES NO
- Provide a list of the telecommunications equipment to be installed. Include antennae, equipment cabinets, mounting structures, etc.
- Provide photographs of existing site conditions. Label/identify existing telecommunications equipment and identify the location of the proposed telecommunications equipment.

SUPPLEMENTAL INFORMATION

SUPPLEMENTAL INFORMATION

Arlington County Zoning Division

WHERE NOT PREVIOUSLY PROVIDED, PLEASE PROVIDE THE FOLLOWING SUPPLEMENTAL INFORMATION WITH SUBMITTAL OF THIS APPLICATION TO THE ZONING DIVISION

LIVE ENTERTAINMENT USE PERMIT (11 COPIES)

YES NO

- I have read the "Zoning Administrator's Advice" dated November 1, 2010 regarding Live Entertainment (attached) OR (<http://www.arlingtonva.us/departments/CPHD/planning/zoning/page78939.aspx>)

- The Subject Property wherein the proposed live entertainment is to take place has been established as a Restaurant or Nightclub (check one) and has obtained a Certificate of Occupancy as a Restaurant or Nightclub. If YES, please enclose a copy of said Certificate of Occupancy and Capacity Certificate. If NO, please know the Arlington County Zoning Ordinance only permits live entertainment (with Use Permit approval) in association with a restaurant and/or nightclub

- Provide the type of proposed live entertainment to include a detailed description.
 - Musical Ensemble Solo Performers Deejays (DJ) Karaoke
 - Comics/Comedians Theatrical Dancing Other as specified below

- Will the proposed live entertainment use amplified audio equipment? If YES, provide a brief description below.

- Will the proposed live entertainment be offered indoors or outdoors? (check one)
- Provide the hours live entertainment will be offered in association with each day of the week and current business hours of establishment wherein the live entertainment is provided.
- Provide a scaled floor plan drawing (architect's scale) depicting all areas/rooms where live entertainment will be setup/offered. This plan shall include the location of all equipment associated with live entertainment. (i.e. stage, DJ booth, karaoke machine, speakers, etc.)
- Provide a Letter/Statement of Support from affected Civic Associations; If none provide an explanation as to why no civic associations are affected by the proposed use.
- Note: If a dance floor or a space wherein patrons will be encouraged to dance is proposed, the applicant must also pursue and obtain a Dance Hall Permit from the Zoning Division.

DISCLOSURE STATEMENT

Arlington County Zoning Division

SUBJECT PROPERTY IDENTIFICATION:

DATE: 8/15/16

ADDRESS TEARDROP PARCEL ADJACENT TO 400 ARMY NAVY DRIVE
400 ARMY NAVY DRIVE, ARLINGTON VA 22202

REAL PROPERTY CODE(S) 35008-07

AREA (SQ. FT./ACRES) 12.000 ZONING DISTRICT(S) C-O-2.5

LOT(S) _____ BLOCK _____

SECTION _____ SUBDIVISION _____

OWNERSHIP:

YES NO

Is the owner of said real estate a corporation whose stock is traded on a national or local stock exchange and having more than five hundred (500) shareholders? If YES, give the name of the corporation and proceed to certification portion of this form. YES NO

If NO, provide a list of the names, addresses and nature of interest of ALL persons having equitable ownership of the real estate to be affected. Include, in the case of corporate ownership, the names of stockholders, officers, directors and ALL parties in interest. If aforementioned information does not fit in the space provided, please attach an additional document as necessary.

PARCEL ADDRESS	NAME	ADDRESS	NATURE OF INTEREST
TEARDROP PARCEL	ARLINGTON COUNTY	2100 Clarendon Blvd Arlington, Va 22201	OWNER

SEE ATTACHED

CERTIFICATION:

I hereby certify that this is a true and accurate disclosure of all persons having equitable ownership in the real estate to be affected and of all parties in interest.

APPLICANT'S NAME GREG FREW / BALFOUR BEATTY TITLE ASSISTANT SUPERINTENDENT

ADDRESS 11325 RANDOM HILLS ROAD SUITE 500 FAIRFAX, VA 22030

SIGNATURE [Signature]

STATE OF Virginia, COUNTY OF Arlington TO WITNESS Greg Frew

Subscribed and sworn before me this 15 day of June, 20 16

Notary [Signature]

My commission expires 1/31/2016

TRACY ANN CHIANESE
NOTARY PUBLIC
REGISTRATION # 7612379
COMMONWEALTH OF VIRGINIA
MY COMMISSION EXPIRES
JANUARY 31, 2018

DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND DEVELOPMENT

ZONING DIVISION

2100 CLARENDON BOULEVARD SUITE #1000

ARLINGTON, VIRGINIA 22201

PHONE (703) 228-3883 • FAX (703) 228-3896

ZONING ADMINISTRATOR'S ADVICE

Arlington County Zoning Administration

November 1, 2010

LIVE ENTERTAINMENT

ISSUE:

The Arlington County Zoning Ordinance (ACZO) does not define "live entertainment". Based upon the language of the ordinance, and the consistent administrative practice, how is this term applied?

RESPONSE:

It has been the consistent administrative practice to define "Live Entertainment" as follows: any entertainment involving performances, or delivery of entertainment by one or more persons. Examples include:

- A musical ensemble
- Solo performers
- Deejays
- Karaoke
- Comics/Comedians
- Theatrical acts (when performed in a venue other than a theatre)
- Dancing

Although every set of facts must necessarily be determined individually, live entertainment would not usually include things like piped-in background music, where no "live" person is actively involved in the playing of the music. Please note that the ACZO only permits "live entertainment" in association with a restaurant and after the approval of a Use Permit by the County Board. Additionally, dancing is only permitted per the County Code where a live entertainment use permit has been granted.

The foregoing statement is advice of the Zoning Administrator, only, and is subject to change and is not subject to appeal. It is provided solely for information and in an effort to assist the public. It may not be relied upon as legal advice or as creating any vested right to any use.

Some districts permit "nightclub or restaurant". Webster defines a nightclub as including a restaurant, and therefore a nightclub would be permitted to apply for a live entertainment use permit.

Arlington County Zoning Division
2100 Clarendon Boulevard, Suite 1000
Arlington, VA 22201

Re: Arlington County Use Permit

To Whom It May Concern,

Per Article 12.10.3 of the Arlington County Zoning Ordinance, Balfour Beatty Construction proposes to use the "teardrop" parcel of land adjacent to the construction project at 400 Army Navy Drive. This parcel of land is bound by 11th Street on the south, Old South Eads Street on the east, Army Navy Drive on the north, and South Eads Street on the East. As shown in the attached documents, Balfour Beatty Construction has entered into an agreement with Arlington County to use the parcel of land for construction management personnel parking, construction trailers, construction fencing, and miscellaneous storage.

The land use is needed to provide adequate room to place construction trailers and supplies a safe distance away from the demolition of the existing building and construction of the new structure. We plan to incorporate this parcel of land into our overall construction logistics plan to ensure the overall safety of the construction personnel and surrounding community. Noise will be limited to the Arlington County approved work hours of 7:00am to 6:30pm Monday through Friday and 10:00am to 6:30pm on weekends and holidays. Tree protection has already been installed around the existing tree per Arlington County requirements and site field visit on January 4, 2016 with Vincent Verweij with Arlington County Department of Parks and Recreation.

Should you have any additional questions or concerns please contact me at 703-362-9960 or cmcgwier@balfourbeattyus.com

Sincerely,
Craig McGwier

Senior Project Manager
Balfour Beatty Construction

AMENDMENT TO SITE PLAN #2 400 ARMY NAVY DRIVE ARLINGTON, VA CIVIL ENGINEERING PLAN SET

SWM #15-1987

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015

RPC: #35002001
 EXISTING AREA: 1.65 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.
 ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT
 ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF
 TRANSPORTATION STANDARDS AND SPECIFICATIONS.

christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax, VA 22031-3907
 703.273.6820 · fax 703.273.7636



PROJECT NO: 09104.003.00
 DATE: 05-15-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMH

1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
 2 BETHESDA METRO CENTER
 BETHESDA, MD 20814
 301.847.0002

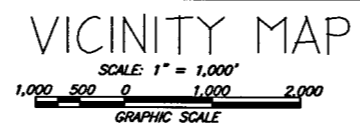
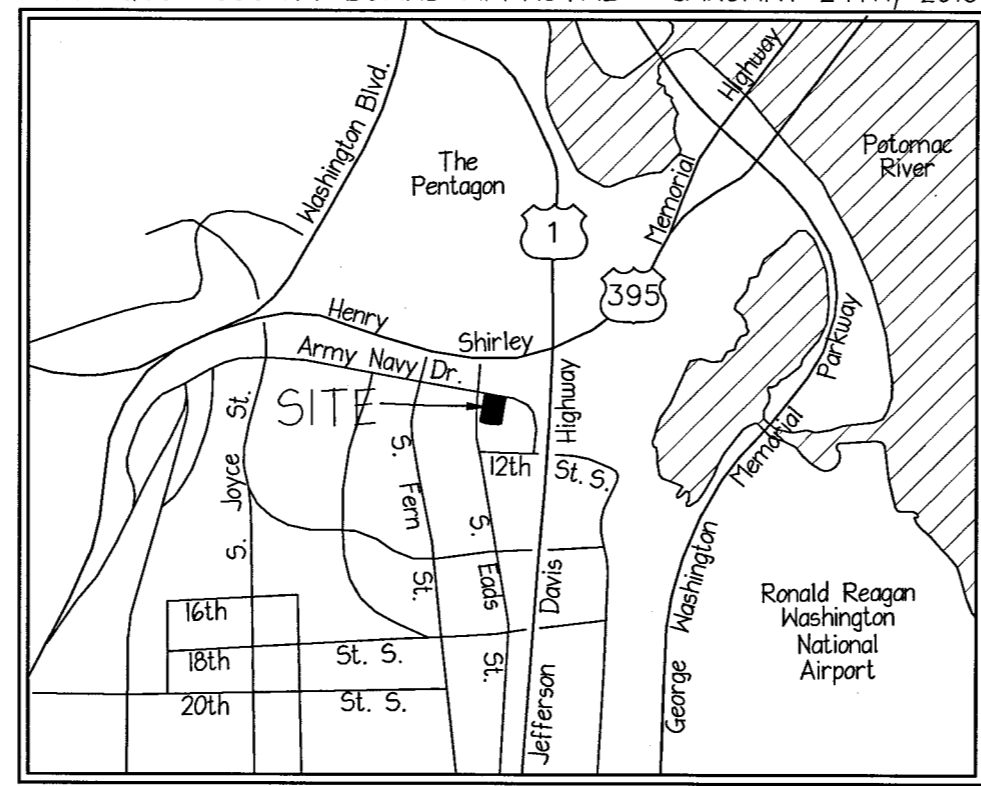
2. ARCHITECT:
SK#1
 1735 OLD GEORGETOWN RD.
 SUITE 1000
 BETHESDA, MD 20814
 301.654.9300

3. PLAN PREPARED BY:

christopher
 engineering · surveying · land planning
 christopher consultants, Ltd.
 9900 main street (fourth floor) · Fairfax, VA 22031-3907
 703.273.6820 · fax 703.273.7636

4. TRAFFIC ENGINEERS:
GOROVE / SLADE
 1140 CONNECTICUT AVE, NW
 SUITE 600
 WASHINGTON, DC 20036
 202.540.1924

5. ATTORNEYS:
**WALSH, COLUCCI, LUBELEY,
 ETRICH & WALSH, PC**
 2200 CLARENDON BLVD
 15TH FLOOR
 ARLINGTON, VA 22201-3359
 703.528.4700



NOTES:

- 1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.
- 2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

SHEET INDEX

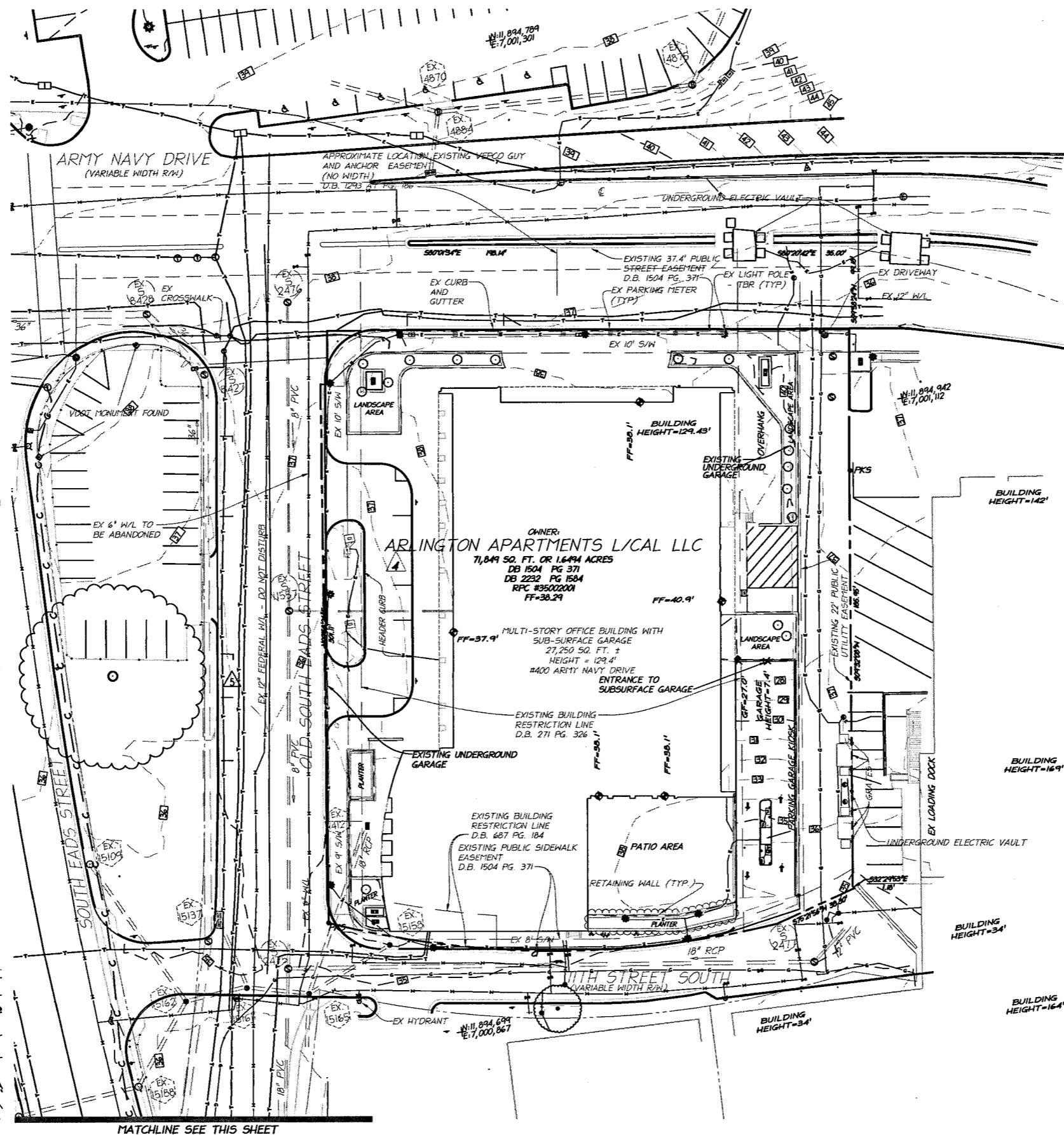
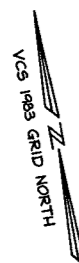
C1.0	COVER SHEET
C2.0 - C2.11	ARLINGTON COUNTY BOARD CONDITIONS
C3.0	GENERAL NOTES
C4.0	EXISTING CONDITIONS PLAN
C4.1	EXISTING TREE SURVEY
C4.2	SOILS MAP
C5.0	DEMOLITION PLAN
C5.1	SITE PLAN
C6.0	GRADING PLAN
C6.1	UTILITY PLAN
C7.0	DRY UTILITY PLAN
C7.2	COUNTY CONDUIT PLAN
C8.0	DIMENSION PLAN
C9.0	TRANSPORTATION, STRIPING AND SIGNAGE PLAN
C9.1	FIRE PROTECTION PLAN
C9.2	STREET SECTION PLAN
C9.4	STREETSCAPE IMPROVEMENT PLAN
C9.5	TURNING MOVEMENTS
C10.0 - C10.3	SWEEP PLAN, DETAILS, AND COMPUTATIONS
C11.0	EROSION AND SEDIMENT CONTROL PLAN - PHASE I
C11.1	EROSION AND SEDIMENT CONTROL PLAN - PHASE IA
C11.2	EROSION AND SEDIMENT CONTROL PLAN - PHASE II
C11.3	SWPPP NOTES
C11.4 - C11.5	MAINTENANCE OF TRAFFIC PLAN
C12.0 - C12.2	LIGHTING NOTES & CALCULATIONS
C13.0	LIGHTING SPECIFICATIONS
C13.1	LIGHTING DEMOLITION PLAN
C13.2	LIGHTING PLAN
C13.3	LIGHTING DETAILS
C13.4	PHOTOMETRIC CALCULATIONS
C13.5	UTILITY PROFILES
C14.0 - C14.2	SITE DETAILS

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES

COVER SHEET
THE ALTAIRE
 AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA

SCALE: N/A SHEET: C1.0

EXISTING CONDITIONS
AND TOPOGRAPHIC MAP



RPC: #35002001
 EXISTING AREA: 1.65 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT
 ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF
 TRANSPORTATION STANDARDS AND SPECIFICATIONS.

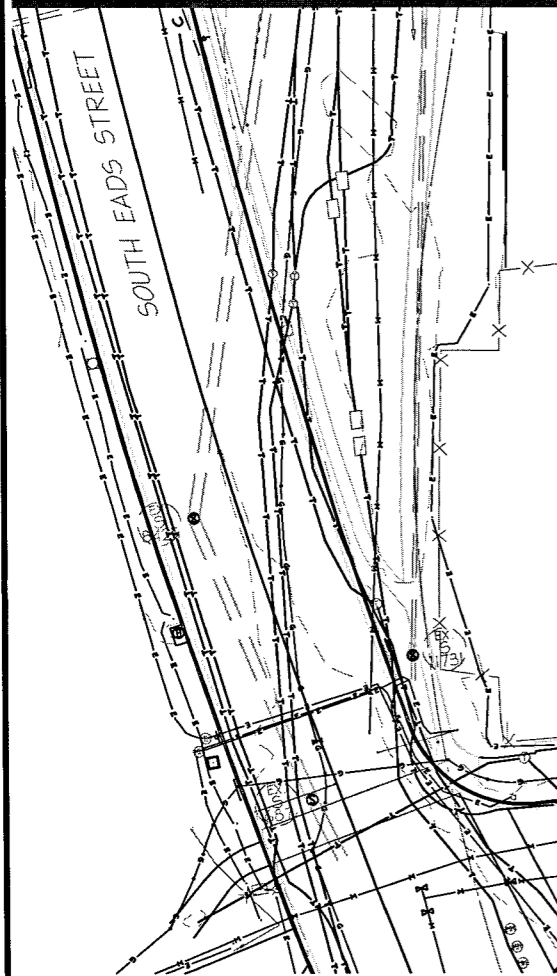
CURVE TABLE

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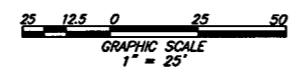
NOTES:

1.) SEE SHEET 230 FOR LEGEND.

MATCHLINE SEE THIS SHEET



MATCHLINE SEE THIS SHEET



christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · fairfax va. 22031-3907
 703.273.6850 · fax 703.273.7636



11/23/2015
 IFC SET

PROJECT NO: 09014.03.00
 DATE: 05-15-15

DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTM

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES

EXISTING CONDITIONS PLAN
THE ALTAIRE
 AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA

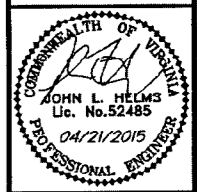
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SHEET: CA.0



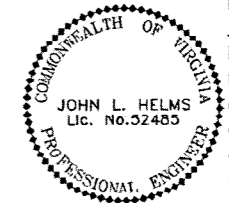
AMENDMENT TO SITE PLAN #2 THE ALTAIRE 400 ARMY NAVY DRIVE MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION ARLINGTON, VA

RPC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
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 TRANSPORTATION STANDARDS AND SPECIFICATIONS.



PROJECT NO: 09014.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: K144

Digitally signed by
 John Helms
 DN: c=US, cn=John
 Helms, o=christopher
 consultants, ou=christopher
 consultants
 Date: 2015.04.21
 16:15:16 -04'00'



RED-LINE DOCUMENT FOR
 TEARDROP USE

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015

SHEET INDEX

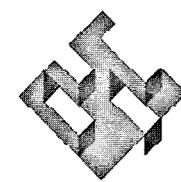
CO1.0 COVER SHEET
 CO2.0 DEMOLITION PLAN
 CO3.0 - CO4.0 MAINTENANCE OF TRAFFIC PLAN

1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
 2 BETHESDA METRO CENTER
 BETHESDA, MD 20814
 301.841.0002

2. ARCHITECT:
SK#1
 7735 OLD GEORGETOWN RD.
 SUITE 1000
 BETHESDA, MD 20814
 301.654.9300

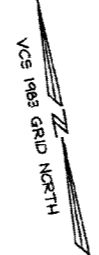
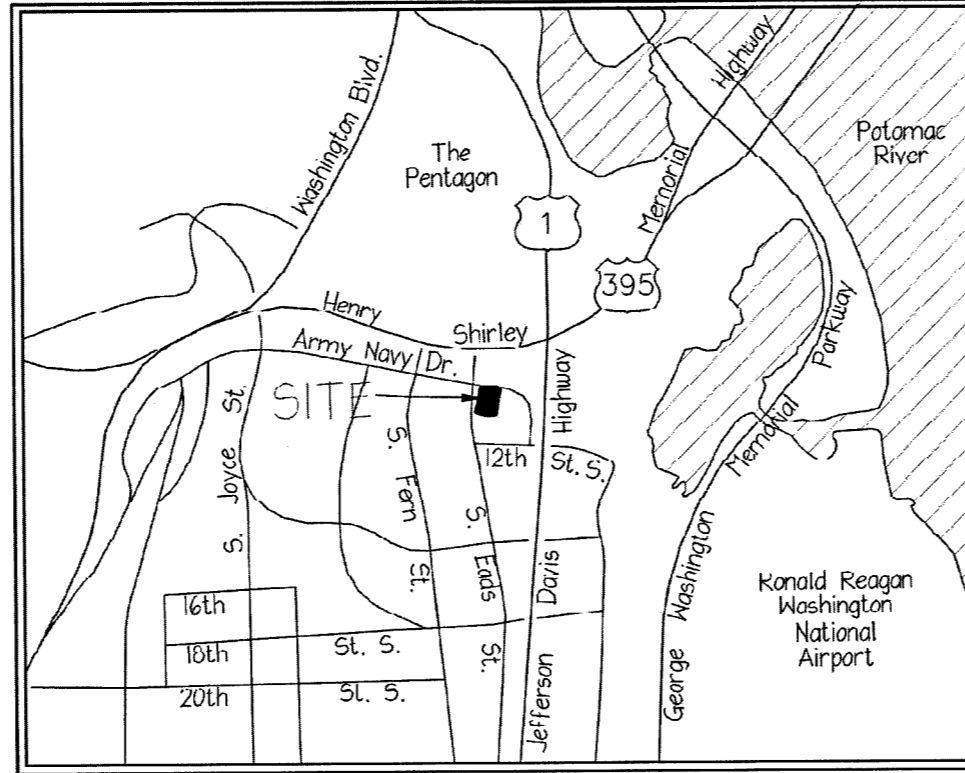
3. PLAN PREPARED BY:

christopher
 engineering · surveying · land planning
 christopher consultants, llc
 9500 main street (fourth floor) · fairfax, va 22031-3907
 703.273.6820 · fax 703.273.7636

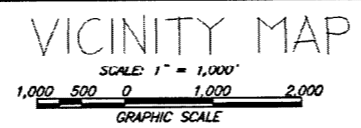


4. TRAFFIC ENGINEERS:
GOROVE / SLADE
 1140 CONNECTICUT AVE, NW
 SUITE 400
 WASHINGTON, DC 20036
 202.540.1924

5. ATTORNEYS:
**WALSH, COLUCCI, LUBELEY,
 ETTRICH & WALSH, PC**
 2200 CLARENDON BLVD
 15TH FLOOR
 ARLINGTON, VA 22201-3359
 703.528.4700



MOT TO REMAIN THE SAME WITH
 THE EXCEPTION OF LOCATION OF
 CONSTRUCTION TRAILER AND
 MATERIAL STORAGE



NOTES:

- 1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.
- 2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

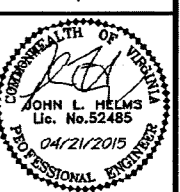
ARLINGTON COUNTY, VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES	
COVER SHEET - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION THE ALTAIRE - AMENDMENT TO SITE PLAN #2 400 ARMY NAVY DRIVE ARLINGTON COUNTY VIRGINIA	
SCALE: N/A	SHEET: CO1.0

 ARLINGTON VIRGINIA	DEPARTMENT OF ENVIRONMENTAL SERVICES
 BRIDGET OBIKOVA ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS	6/15/2015 APPROVAL DATE

RPC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
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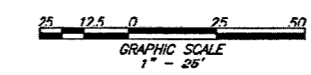
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

christopher consultants
 engineering - surveying - land planning
 9800 main street (south lobby) - Fairfax VA 22031-3907
 703.773.8820 - fax 703.773.7636



PROJECT NO. 09014.003.00
 DATE: 04-21-15

DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTH



VCS 1983 GRID NORTH

MOT TO REMAIN THE SAME WITH THE EXCEPTION OF LOCATION OF CONSTRUCTION TRAILER AND MATERIAL STORAGE

NOTES:

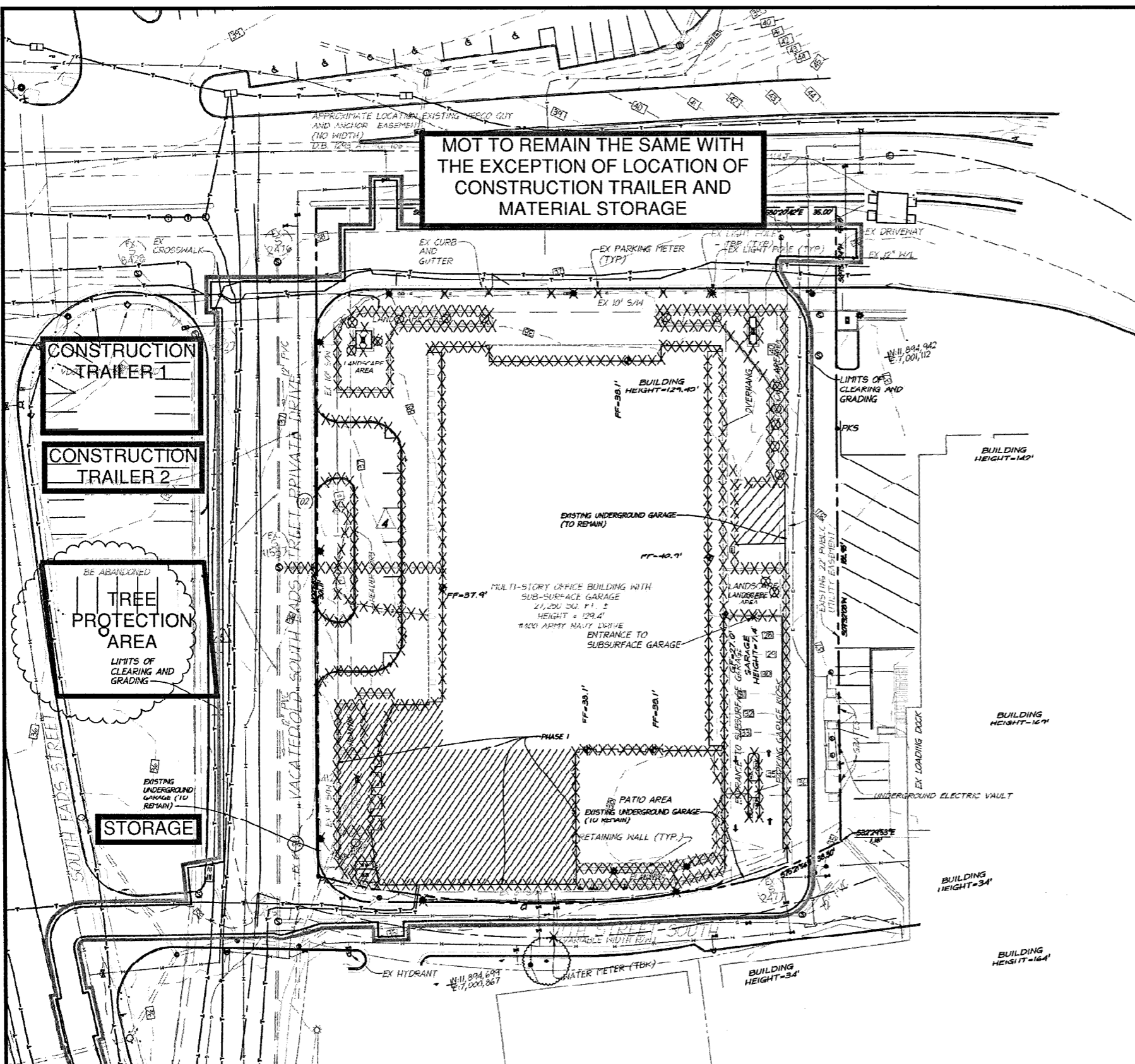
- 1.) CONTRACTOR TO CONTACT DES-PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK.
- 2.) CONTRACTOR TO COORDINATE WITH TRANSIT AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK. IF TRANSIT IS AFFECTED, THE APPLICANT WILL REMOVE THE EXISTING PARKING METERS AND REINSTALL AT THE CONCLUSION OF THE PROJECT AS NECESSARY.
- 3.) ALL EXISTING UTILITIES SERVICING THE SITE WILL BE DISCONNECTED IN ACCORDANCE WITH THE COUNTRY REGULATIONS.
- 4.) ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBTSTRUCTED AND ACCESSIBLE AT ALL TIMES, IN ACCORDANCE WITH SECTIONS 50B.5.4 AND 50B.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 5.) ACCESS TO BUILDINGS FOR FIREFIGHTERS SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 50B.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 140 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 6.) IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT THE ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
- 7.) NO EXISTING TREES WITHIN THE LIMITS OF DISTURBANCE WILL BE SAVED WITH THIS PROJECT.
- 8.) NO RESOURCE PROTECTED AREAS ARE LOCATED ON THIS SITE.
- 9.) EXISTING STREET LIGHTS SHALL REMAIN AT ALL TIMES DURING DEMOLITION. CONTRACTOR SHALL COORDINATE WITH THE COUNTY IF EXISTING LIGHTS CANNOT REMAIN DURING DEMOLITION AND TEMPORARY STREET LIGHTS ARE NEEDED.
- 10.) FOR LEGEND, SEE SHEET C3.0.

XXXXX - TO BE REMOVED

- PHASE I EXTERIOR DEMOLITION

CURVE TABLE

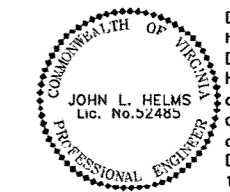
CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.54'	28°16'36"	103.40'	N79°50'34"W	200.54'



NARRATIVE:
 400 ARMY NAVY DRIVE CURRENTLY IS AN EXISTING MULTI-STORY OFFICE BUILDING WITH 3 LEVELS OF SUB-SURFACE PARKING. THE EXISTING BUILDING WILL BE DEMOLISHED TO THE FOUNDATION. THE WALLS FOR THE SUB-SURFACE PARKING GARAGE WILL REMAIN AND WILL BE UTILIZED TO STABILIZE AND SUPPORT THE SURROUNDING ROAD NETWORK WITH THE ADDITION OF WIRE TIE-BACKS.
 THE DEMOLITION WILL CONSIST OF A 2 WEEK MOBILIZATION PERIOD, FOLLOWED BY A 2 MONTH PERIOD OF INTERIOR DEMOLITION.

THE NEXT PHASE OF THE DEMOLITION WILL BE THE REMOVAL OF THE 2 STORY BUILDING AROUND THE EXISTING TOWER AND THE PLANTER BOXES. THIS AREA IS SHOWN ON THE DRAWING AS 'PHASE I'. THE DEMOLITION OF THIS AREA WILL ALLOW FOR THE PLACEMENT OF THE CRANE PAD. DURING THIS TIME THE CONSTRUCTION ENTRANCE WILL BE LOCATED IN THE CURRENT DROP OFF LANE. THIS AREA IS CURRENTLY STABILIZED AND WILL REMAIN SO DURING THIS PHASE OF CONSTRUCTION. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE I' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. WE ANTICIPATE THAT THIS PHASE WILL BE CONCURRENT WITH THE INTERIOR DEMOLITION.

AFTER THE DEMOLITION OF THE 2-STORY BUILDING AROUND THE TOWER OCCURS, A 6 TO 8 MONTH DEMOLITION OF THE TOWER WILL OCCUR. AS THE DEMOLITION OCCURS, THE CONSTRUCTION ENTRANCE WILL BE MOVED FROM THE DROP OFF LANE TO AN AREA ADJACENT TO THE CRANE. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE 2' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. TIEBACKS WILL BE UTILIZED FOR THE EXISTING WALLS OF THE SUB-SURFACE PARKING GARAGE TO STABILIZE THE WALLS. THE SITE WILL REMAIN SECURE UPON COMPLETION OF THE DEMOLITION. EXCESS DEBRIS WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE APPROPRIATE PERMITS. TEMPORARY OR PERMANENT SEEDING WILL BE USED AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL PLANS.



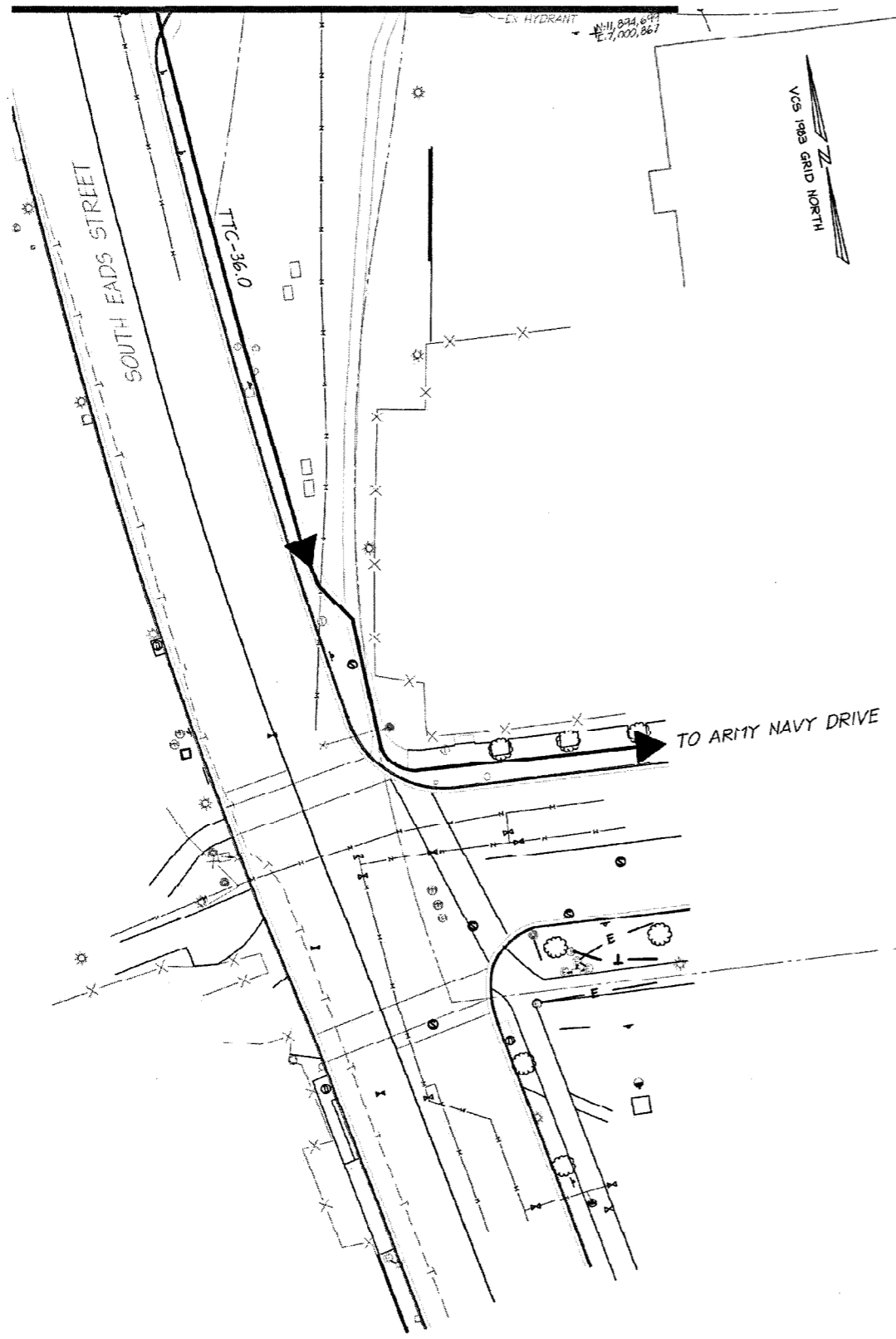
Digitally signed by John Helms
 DN: c=US, cn=John Helms, ou=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:15:36 -04'00'

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 DEMOLITION PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C02.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE

MATCHLINE SEE SHEET C03.0



TTC-36.0:

Page 6H-78

August 2011

**Typical Traffic Control
Crosswalk Closure and Pedestrian Detour Operation
(Figure TTC-36.0)**

NOTES

Standard:

1. When crosswalks or other pedestrian facilities are closed or relocated, temporary facilities shall be installed and shall include accessibility features consistent with the features present in the existing pedestrian facility.
2. Curb parking shall be prohibited for at least 50 feet in advance of the midblock crosswalk.

Guidance:

3. Audible information devices should be considered where midblock closings and changed crosswalk areas cause inadequate communication to be provided to pedestrians who have visual disabilities.
4. Pedestrian traffic signal displays controlling closed crosswalks should be covered or deactivated.
5. Temporary markings should be considered for operations exceeding three days in duration.

Option:

6. Only the TTC devices related to pedestrians are shown. Other devices, such as lane closure signing or KUMU SIGNATURE (W-2-1) signs, may be used to control vehicular traffic.
7. For right-of-way closures, Type A Flashing warning lights may be used on barricades supporting signs and closing sidewalks.
8. In order to maintain the systematic use of the fluorescent yellow-green background for pedestrian, bicycle, and school warning signs in a jurisdiction, the fluorescent yellow-green background for pedestrian, bicycle, and school warning signs may be used in TTC zones.

Standard:

9. All sidewalk closures shall be closed with Type 3 Barricades.

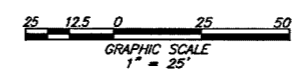
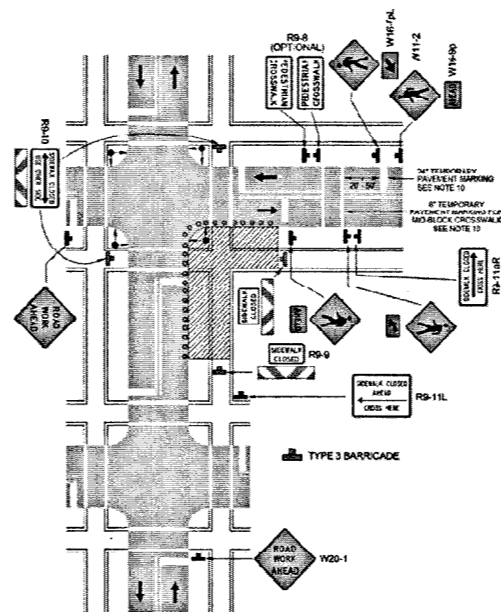
Support:

10. Refer to Sections 3B-16 through 3B-18 of the 2009 MUTCD for optional stop lines, yield lines and other related TTC devices that may be used to control vehicular traffic at midblock crosswalks.

August 2011

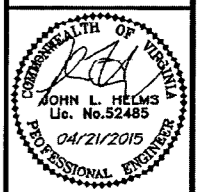
Page 6H-79

**Crosswalk Closure and Pedestrian Detour Operation
(Figure TTC-36.0)**



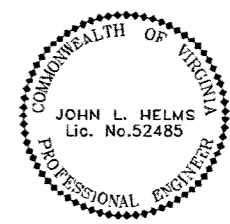
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PROJECT NO: 09014.003.00
 DATE: 04-21-15

DESIGN: JLH
 DRAWN: JLH
 CHECKED: RMW



Digitally signed by
 John Helms
 DN: c=US, cn=John Helms, o=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:16:05 -04'00'

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES

MAINTENANCE OF TRAFFIC PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA

SCALE: 1"=25' SHEET: C04.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

Bridget Obikoya
 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS

6/15/2015
 APPROVAL DATE

ACCESSIBILITY NOTES:

- 1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE.
2. ACCESSIBLE DRINKING FOUNTAINS SHALL HAVE A SPOUT HEIGHT NO HIGHER THAN 36 INCHES ABOVE THE FLOOR AND NO DEEPER THAN 34 INCHES ABOVE THE FLOOR FOR INDIVIDUALS IN WHEELCHAIRS. ADDITIONALLY, DRINKING WATER PROVISIONS SHALL BE MADE FOR INDIVIDUALS WHO HAVE DIFFICULTY BENDING.
3. WHERE STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETES AND DRAWERS ARE PROVIDED AT LEAST ONE TYPE PROVIDED SHALL CONTAIN STORAGE SPACE COMPLYING WITH THE FOLLOWING: DEPT. TO 20 INCH SPACES SHALL BE ACCESSIBLE TO TOUCH; COUCHES, U-SHAPED PULLS, SPACES SHALL BE 15 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR; FORWARD REACH OR SIDE REACH: CLOTHES RODS OR COAT HOOKS SHALL BE A MAXIMUM OF 48 INCHES ABOVE THE FLOOR (45 INCHES MAXIMUM WHEN DISTANCE FROM WHEEL CHAIR TO ROD EXCEEDS 10 INCHES); SHELVES IN RESTROOM OR TOILET ROOMS SHALL BE 48 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR.
4. CONTROLS, DISPENSERS, RECEPTABLES AND OTHER OPERABLE EQUIPMENT SHALL BE NO HIGHER THAN 48 INCHES ABOVE THE FLOOR; EXCEPTION: HEIGHT LIMITATIONS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL RECEPTABLES ARE NOT NORMALLY INTENDED FOR USE BY BUILDING OCCUPANTS.
5. WHERE EMERGENCY WARNING SYSTEMS ARE PROVIDED, THEY SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT, INCLUDING RESTROOM, AND PLACED 80 INCHES ABOVE THE FLOOR OR 6 INCHES BELOW CEILING, WHICH-EVER IS LOWER.
6. ALL DOORS SHALL BE OPERABLE BY A SINGLE EFFORT. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MAXIMUM. THE MAXIMUM FORCE REQUIRED FOR PUSHING OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL NOT EXCEED 5 LBS. FOR ALL SLIDING, FOLDING, AND INTERIOR HINGED DOORS.
7. FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN 0.25 INCH AND 0.5 INCH SHALL BE BEVELLED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 0.5 INCH REQUIRE RAMP. CARPET PILE THICKNESS SHALL BE 0.5 INCH. CRACKS IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5 INCH WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH IN HEIGHT.
8. ACCESSIBLE WATER CLOSETS SHALL BE 17 INCHES TO 19 INCHES MEASURED FROM THE FLOOR TO THE TOP OF THE SEAT. GRAB BARS SHALL BE 36 INCHES LONG MINIMUM. WHEN LOCATED BEHIND WATER CLOSET AND 42 INCHES MINIMUM WHEN LOCATED ALONG SIDE OF WATER CLOSET, AND SHALL BE MOUNTED 33 INCHES ABOVE THE FLOOR. IN ADDITION, A VERTICAL GRAB BAR 18 INCHES MINIMUM IN LENGTH SHALL BE MOUNTED ON THE SIDEWALL AT THE BOTTOM OF THE BAR LOCATED BETWEEN 36 AND 41 INCHES ABOVE THE FLOOR, AND WITH THE CENTER LINE OF THE BAR LOCATED BETWEEN 39 INCHES AND 41 INCHES FROM THE REAR WALL.
9. ACCESSIBLE URINALS SHALL BE STALL-TYPE OR WALL HUNG WITH ELONGATED RIMS AT A MAXIMUM OF 17 INCHES ABOVE THE FLOOR.
10. ACCESSIBLE LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE RIM NO HIGHER THAN 34 INCHES ABOVE THE FLOOR. KNEE CLEARANCE OF AT LEAST 27 INCHES HIGH MUST BE PROVIDED WITH A MINIMUM DEPTH OF 8 INCHES BENEATH THE FIXTURE, AND 9 INCHES HIGH MINIMUM WITH A MINIMUM DEPTH OF 11 INCHES BENEATH THE FIXTURE. THE KNEE SPACE MUST BE AT LEAST 30 INCHES LONG, FOLDING, AND INTERIOR HINGED DOORS.
11. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. INSULATION OR PROTECTION MATERIALS MAY BE SITE INSTALLED, THERE SHALL BE NO SHARP OR ABRAISIVE SURFACES UNDER ACCESSIBLE LAVATORIES AND SINKS.
12. ACCESSIBLE LAVATORIES AND SINKS SHALL HAVE ACCESSIBLE FAUCETS (I.E. LEVER-OPERATED, ELECTRONICALLY CONTROLLED).
13. MIRRORS LOCATED ABOVE LAVATORIES, SINKS OR COUNTERTOPS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE A MINIMUM OF 20 INCHES ABOVE THE FLOOR. OTHER MIRRORS IN TOILET ROOMS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35 INCHES MAXIMUM ABOVE THE FLOOR.
14. GRAB BARS HAVING A CIRCULAR CROSS SECTION SHALL HAVE AN OUTER DIAMETER OF 1.25 INCHES MINIMUM AND 2.0 INCHES MAXIMUM. THE SPACE BETWEEN THE GRAB BAR AND THE WALL SHALL BE 1.5 INCHES.
15. WATER CLOSET FLUSH CONTROL SHALL BE INSTALLED A MAXIMUM OF 36 INCHES ABOVE THE FLOOR AND SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.
16. DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (I.E. LEVER-OPERATED, PUSH-TYPE, U-SHAPED) LOCATED BETWEEN 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR.
17. TOILET STALL DOORS SHALL BE THE SELF-CLOSING TYPE.
18. A TOWEL DISPENSER SHALL BE LOCATED ADJACENT TO ALL ACCESSIBLE LAVATORIES.

GENERAL NOTES:

- 1. ACCESS TO BUILDING FOR PERSONS IN WHEELCHAIRS IS DESIGNED BY AND FIELD BUILT BY OWNER AND SUBJECT TO LOCAL JURISDICTION APPROVAL. THE PRIMARY ENTRANCE MUST BE ACCESSIBLE.
2. ALL DOORS SHALL BE OPERABLE FROM THE EXTERIOR SIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR SPECIAL MANIPULATED FLUSH BOLTS.
3. ALL GLAZING WITHIN A 24 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY TEMPERED OR ACRYLIC PLASTIC SHEET.
4. ALL STEEL STRAPS REFERENCED ON FLOOR PLAN SHALL BE 1.5 INCH X 26 GA. WITH 8 - 15 GA. X 7/16 INCH CROWN X 1 INCH STAPLES EACH END OF STRAP OR EQUIPMENT FROM ROPE BEAM TO COLUMN AND COLUMN TO FLOOR.
5. PORTABLE FIRE EXTINGUISHER PER NFPA - 10 INSTALLED BY OTHERS ON SITE, AND SUBJECT TO LOCAL JURISDICTION.
6. PROVISIONS FOR EXIT DISCHARGE LIGHTING ARE THE RESPONSIBILITY OF THE BUILDING OWNER AND SUBJECT TO LOCAL JURISDICTION APPROVAL. WHEN REQUIRED, NOT SHOWN ON THE FLOOR PLAN (INCLUDING EMERGENCY LIGHTING WHEN REQUIRED).
7. MINIMUM CLEARANCE OF 8 INCHES SHALL BE MAINTAINED AT ALL CORNERS, GUTTERS AND DOWN SPOUTS SHALL BE SITE INSTALLED, DESIGNED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
8. IN TWO-BRANCH SYSTEMS, GLAZING SHALL BE IMPACT RESISTANT OR PROTECTED WITH IMPACT RESISTANT OVERLAP MEETING THE REQUIREMENTS OF AN APPROVED IMPACT RESISTANT STANDARD, OR ASTM E996. WHO-BRANCH SYSTEMS ARE DESCRIBED IN SECTION 1100 OF THE IBC.
9. FIRE SAFETY PLAN REVIEW AND INSPECTION IS RESERVED FOR THE LOCAL AUTHORITY JURISDICTION.
10. WINDOWS AND DOORS MUST BE CERTIFIED FOR COMPLIANCE WITH THE WIND DESIGN ACCORDING TO THE MANUFACTURER'S STATE APPROVED BUILDING SYSTEM MANUAL.
11. STRUCTURAL DETAILS NOT INCLUDED IN THIS PLAN SET ARE TO BE CONSTRUCTED ACCORDING TO THE MANUFACTURER'S STATE APPROVED BUILDING SYSTEM MANUAL.

BUILDING DESIGN PARAMETERS

- 1. USE/OCCUPANCY: BUSINESS
2. CONSTRUCTION TYPE: VB
3. SPRINKLER SYSTEM: NO
4. BUILDING AREA: 2800 S.F.
5. BUILDING HEIGHT: 15 FT
6. NUMBER OF STORIES: 1
7. NUMBER OF MODULES: 4
8. OCCUPANT LOAD 21 BASED ON 100 SF/PERSON
9. EXTERIOR WALL FIRE RATING: NOT RATED
10. THIS BUILDING MUST BE INSTALLED WITH THE FIRE SEPARATION DISTANCES REQUIRED BY IBC TABLE 602 AND SECTION 705.3.
11. ENERGY CODE COMPLIANCE: SEE ATTACHED ENERGY CALCULATIONS.
12. MANUFACTURER'S DATA PLATE, STATE LABELS AND 3RD PARTY LABELS ARE TO BE LOCATED ADJACENT TO ELECTRICAL PANEL.

STRUCTURAL LOAD LIMITATIONS

BUILDING OCCUPANCY CATEGORY: II
FLOOR LIVE LOAD: A. 50 PSF
B. 2000 LB. CONCENTRATED LOAD OVER 30 INCH X 30 INCH AREA LOCATED ANYWHERE ON FLOOR
ROOF LIVE LOAD: A. 20 PSF
ROOF SNOW LOAD: A. Pp = 20 PSF GROUND SNOW LOAD
B. Pf = 20 PSF FLAT ROOF SNOW LOAD
C. Ce = 1.1 SNOW EXPOSURE FACTOR
D. Is = 1.0 SNOW IMPORTANCE FACTOR
E. Wt = 1.0 SNOW THERMAL FACTOR
WIND LOAD: A. 140 WIND SPEED
B. Iw = 1.0 WIND IMPORTANCE FACTOR
C. C = 0.8 WIND EXPOSURE CATEGORY
D. Gcpl = 0.18 INTERNAL PRESSURE COEFFICIENT
E. Pr: Zone 1: 40.2 PSF Pw: Zone 4: 44.4 PSF Zone 2: 64.0 PSF Zone 3: 53.2 PSF Zone 5: 107.7 PSF
F. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.
SEISMIC LOAD: A. Ie = 1.0 SEISMIC IMPORTANCE FACTOR
B. Ss = 0.18 SITE CLASS
C. At13 SEISMIC FORCE RESISTING SYSTEM
D. 0 SEISMIC DESIGN CATEGORY
E. EQUIVALENT LATERAL FORCE ANALYSIS PROCEDURE
F. Sd = 0.537 MAPPED SPECTRAL RESPONSE COEFF.
G. S1 = 0.258 MAPPED SPECTRAL RESPONSE COEFF.
H. Sd4 = 0.49 SPECTRAL RESPONSE COEFFICIENT
I. Sd1 = 0.19 SPECTRAL RESPONSE COEFFICIENT
J. R = 2922 LB DESIGN BASE SHEAR
K. R = 6.5 RESPONSE MODIFICATION COEFFICIENT
L. Cs = 0.08 SEISMIC COEFFICIENT
FLOOD LOAD: THE MODULAR BUILDING UNITS ARE NOT DESIGNED TO BE SUBMERGED OR SUBJECTED TO WAVE ACTION. IF INSTALLED IN A FLOOD PLAZA, THE MINIMUM BUILDING ELEVATION SHALL BE AT LEAST 1 FOOT ABOVE THE FLOOD ELEVATION. REFER TO APPROPRIATE FLOOD ELEVATION MAPS FOR FLOOD LOADS.

MECHANICAL NOTES:

- 1. ALL SUPPLY AIR REGISTER SHALL BE 10 INCHES X 10 INCHES ADJUSTABLE WITH 10 INCHES X 20 INCHES (INSIDE) OVERHEAD FIBERGLASS DUCT, UNLESS OTHERWISE SPECIFIED. DUCTS IN UNCONDITIONED SPACES SHALL HAVE R-5 MINIMUM INSULATION EXCEPT DUCTS EXPOSED TO VENTILATED ATTICS AND CHAM. SPACES SHALL HAVE R-6.5 INSULATION.
2. INTERIOR DOORS SHALL BE UNDERCUT 1.5 INCHES ABOVE FINISHED FLOOR FOR AIR RETURN AND/OR AS NOTED ON FLOOR PLAN.
3. HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES PROVIDING 5 CFM FOR EACH OCCUPANT AND 0.06 AREA-OUTDOOR RATE PER IBC SECTION 403.
4. RESTROOM VENT FANS SHALL PROVIDE 75 CFM OR MORE EXHAUST PER WATER CLOSET OR URINAL.
5. RESTROOM VENT FANS SHALL BE DUCTED DIRECTLY TO EXTERIOR OF BUILDING.

ELECTRICAL NOTES:

- 1. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
2. WHEN LIGHT FIXTURES ARE INSTALLED IN WALLS, THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 8 INCHES FROM STORAGE AREA AS DEFINED BY NEC 410-8(C).
3. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATER SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
4. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT. THE DISCONNECTING MEANS SHALL BE A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNDESIRABLE ENERGY TO THE EQUIPMENT. THE DISCONNECTING MEANS SHALL BE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
5. READILY ACCESSIBLE CIRCUIT BREAKER.
6. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-5 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
7. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
8. ALL CIRCUITS CROSSING OVER MODULE MOUNTING LINES SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS.
9. ALL RECEPTABLES INSTALLED IN WET LOCATIONS (EXTERIOR) SHALL BE IN WEATHER PROOF (WP) ENCLOSURES. THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN AN ATTACHMENT PLUG CAP IS INSERTED OR REMOVED. THE RECEPT ITSELF SHALL ALSO BE LISTED FOR DAMP AND WET LOCATIONS.
10. EXTERIOR LIGHTS NOT INTENDED FOR 24 HOUR USE SHALL BE CONNECTED TO A PHOTOCELL OR TIMER.

PLUMBING NOTES:

- 1. TOILETS SHALL BE ELONGATED WITH NONABSORBENT FRONT SEATS.
2. REST ROOM WALLS SHALL BE COVERED WITH NONABSORBENT MATERIAL TO A MINIMUM HEIGHT OF 48 INCHES A.F.F. FLOORS SHALL HAVE SMOOTH, HARD, NONABSORBENT SURFACE THAT EXTENDS UPWARD UPON THE WALLS AT LEAST 6 INCHES.
3. THIS UNIT MUST BE CONNECTED TO A PUBLIC WATER SUPPLY AND SEWER SYSTEM IF THESE ARE AVAILABLE.
4. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUTOFF VALVES.
5. WATER HEATER SHALL HAVE SAFETY PAN WITH 1 INCH DRAIN TO EXTERIOR. TOP RELEASE VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3 FEET ON A COLD WATER SUPPLY LINE.
6. DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
7. WATER SUPPLY LINES SHALL BE CUPR. OR COPPER, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LIMITATIONS AND INSTRUCTIONS.
8. WATER CLOSET VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3 FEET ON A COLD WATER SUPPLY LINE.
9. BUILDING DRAIN AND CLEANOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
10. SHOWERS SHALL BE CONTROLLED BY AN APPROVED MIXING VALVE WITH A MINIMUM WATER OUTLET TEMPERATURE OF 120°F (48.9°C).
11. THERMAL EXPANSION DEVICE, IF REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS.
12. WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL. INSULATION WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MINIMUM.
13. PIPING IN UNCONDITIONED SPACES MUST BE PROTECTED WITH INSULATION HAVING A MINIMUM R FACTOR OF 6.5 IN ACCORDANCE WITH SECTION 2008.6.
14. THE USE OF THIS BUILDING WITHOUT THE MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES IS SUBJECT TO APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
15. THE WATER HEATER SHALL HAVE CONTROLS TO ALLOW A SET POINT OF 99 DEGREES F. THE OUTLET TEMPERATURE OF LAVATORIES SHALL BE LIMITED TO 110 DEGREES F.
16. WATER HEATER SHALL BE PLUMBING WITH HEAT TRAPS ON THE SUPPLY AND DISCHARGE PIPING CONNECTED TO THE HEATER.
17. HOT WATER PIPING FROM THE WATER HEATER SHALL BE INSULATED WITH 0.5 INCH OF MATERIAL HAVING A CONDUCTIVITY NOT EXCEEDING 0.27 BTU PER INCH / H / S / F.
18. RETURN WATER MUST BE RETURNED THROUGH AN APPROVED WATER TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070 OR CSA 9125.1.

ATTENTION LOCAL INSPECTIONS DEPARTMENT

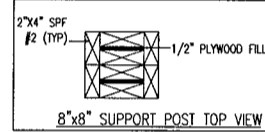
SITE INSTALLED ITEMS
THE FOLLOWING ITEMS HAVE NOT BEEN COMPLETED BY THE MANUFACTURER, HAVE NOT BEEN INSPECTED BY 3RD PARTY AND ARE NOT CERTIFIED BY THE STATE MODULAR LABEL. NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIAL THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL. CODE COMPLIANCE MUST BE DETERMINED AT THE LOCAL LEVEL.
1. THE COMPLETE FOUNDATION SUPPORT AND THE DORMI SYSTEM.
2. RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
3. PORTABLE FIRE EXTINGUISHERS.
4. DRINKING FOUNTAIN OR BOTTLED WATER, BUILDING DRAIN, CLEANOUTS, SERVICE SINK AND HOOD-UP TO PLUMBING SYSTEM.
5. ELECTRICAL SERVICE HOOD-UP (INCLUDING FEEDERS) TO THE BUILDING.
6. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS.
7. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MOUNTING LINES - (MULTI-UNITS ONLY).
8. STRUCTURAL AND ACCELERATION INTERFERENCES BETWEEN MODULES (MULTI-UNITS ONLY).
9. EXIT DISCHARGE LIGHTING (INCLUDING EMERGENCY) TO WINDOW AND DOOR HOPE WHO STORM COVERS (PER CODE).
10. REFER TO GENERAL NOTES 3, 8 & 10.
11. OCCUPANT LIGHTING.

140 MPH FASTENING FOR FABRAL GRAND RIB 3,
#10-14x1-1/2" HWW SCREW w/BONDING WASHER OR EQ.
(4) ROWS 36" MAXIMUM SPACING. SPACED @ 4.5" O.C.

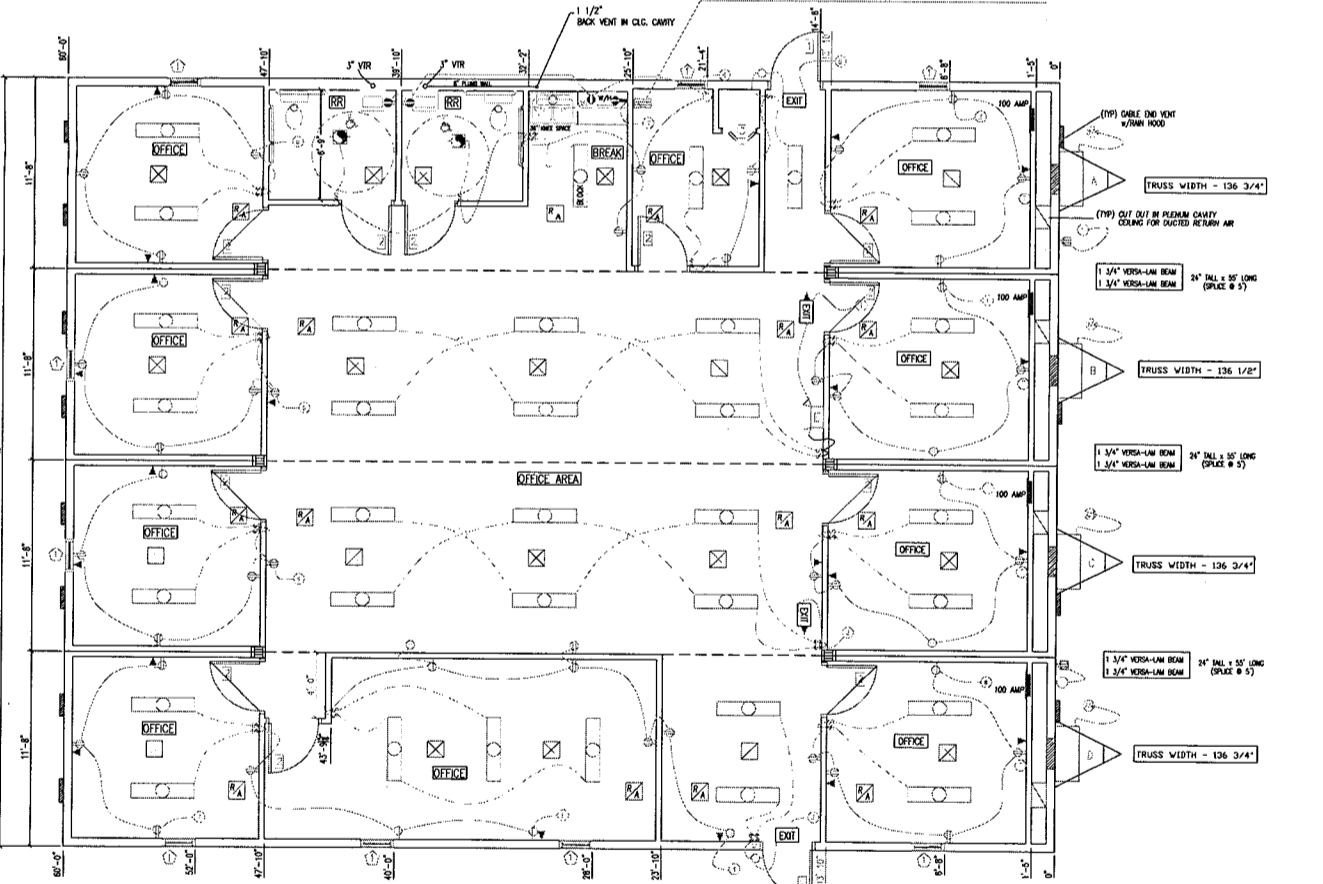
WINDOW & DOOR SPECIFICATIONS

- 1. DBL PANE WINDOWS ARE REQUIRED FOR ALL CLIMATE ZONES. SEE THE COMCHECK ENERGY CALCULATIONS FOR THE MAXIMUM ALLOWED U-FACTOR AND SHGC.
2. THE MAXIMUM ALLOWABLE AIR LEAKAGE RATE FOR WINDOWS IS 0.3 CFM PER SQUARE FEET OF WINDOW AREA.
3. THE MAXIMUM ALLOWABLE AIR LEAKAGE RATE FOR EXTERIOR DOORS IS 0.5 CFM PER SQUARE FEET OF DOOR AREA.

Table with 2 columns: EXT. DOOR SPECIFICATIONS and WINDOW SPECIFICATIONS. Includes details like ALUM. W/ WEV. BLOC., Uo = 0.32, ALLOWABLE AIR LEAKAGE RATES, etc.



Summary table for FRAME & FLOOR, WALLS, WINDOWS, DOORS, ELECTRICAL, PLUMBING, ROOF, and EXTERIOR. Includes material and specification details for each category.



ELECTRICAL SCHEDULE A: Table listing circuit numbers, nomenclature, breaker types, and wire specifications for the first set of circuits.

ELECTRICAL PANEL SIZING A: Table providing general lighting, receptance, and HVAC load calculations for the first electrical panel.

ELECTRICAL SCHEDULE B: Table listing circuit numbers, nomenclature, breaker types, and wire specifications for the second set of circuits.

ELECTRICAL PANEL SIZING B: Table providing general lighting, receptance, and HVAC load calculations for the second electrical panel.

ELECTRICAL SCHEDULE C: Table listing circuit numbers, nomenclature, breaker types, and wire specifications for the third set of circuits.

ELECTRICAL PANEL SIZING C: Table providing general lighting, receptance, and HVAC load calculations for the third electrical panel.

ELECTRICAL SCHEDULE D: Table listing circuit numbers, nomenclature, breaker types, and wire specifications for the fourth set of circuits.

ELECTRICAL PANEL SIZING D: Table providing general lighting, receptance, and HVAC load calculations for the fourth electrical panel.

TABLE OF CONTENTS: Summary of document sections including page numbers for ELECTRICAL NOTES, FLOOR PLAN, ELECTRICAL, PLUMBING RISERS, CROSS SECTION, and FOUNDATION ELEVATIONS.

ELECTRICAL DISTRIBUTION PANEL: Legend for electrical symbols including switches, receptacles, outlets, and lighting fixtures.

DOOR SCHEDULE: Table listing door sizes, names, descriptions, and hardware.

WINDOW SCHEDULE: Table listing window sizes, descriptions, and frame/glass types.

NOTE: ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS B OR BETTER IN CORRIDORS, AND CLASS C OR BETTER IN ROOMS AND ENCLOSED SPACES; CARPET SHALL BE CLASS II OR BETTER.

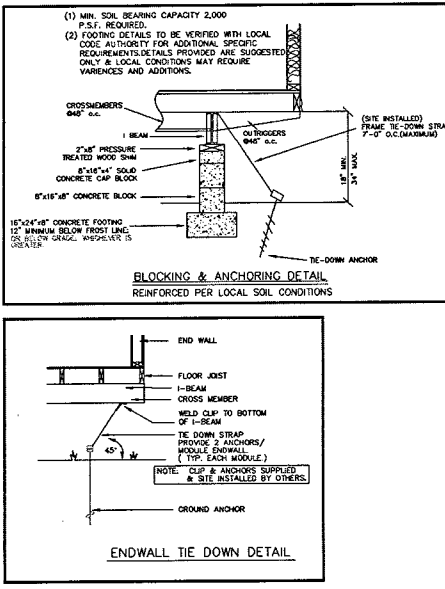
CODE SUMMARY: Table showing applicable building codes for Virginia, including 2009 IBC, 2009 NEC, 2009 IMC, 2009 IPC, ICC/ANSI 117.1-03 VA, ACCESSIBILITY 2003, and 2009 IECC.

JAMES BRADLEY, P.E. CONSULTING ENGINEER, 1765 CARNegie AVENUE, CLEARWATER, FL, 33756. Includes professional engineer seal for James E. Bradley, License No. 006836.

TRCustom INCORPORATED logo and contact information: P.O. Box 1079, 892 N. Broad St., Ellaville, GA 31806, (229) 937-2581, www.trcustominc.com.

APPROVED 05 12 2015

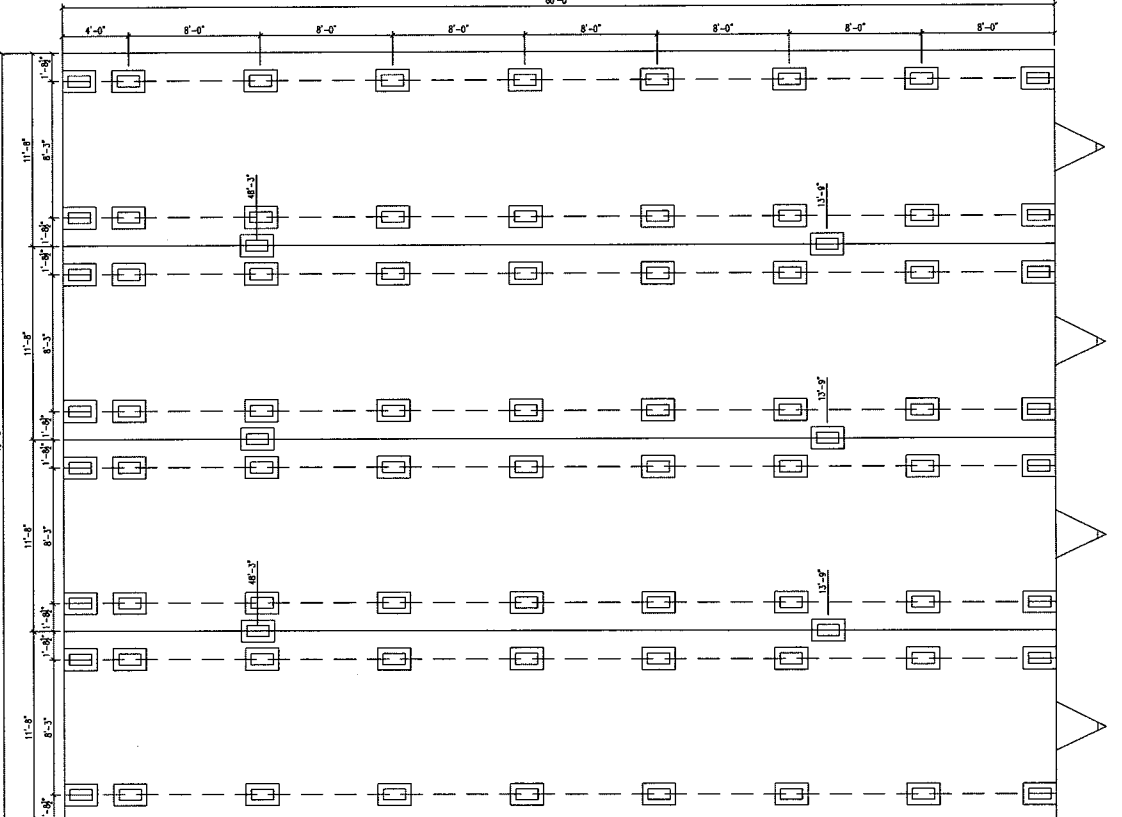
Project information table including SUBMITTAL #, DATE, DRAWN BY, SCALE, and SHEET #.



FOUNDATION NOTES:

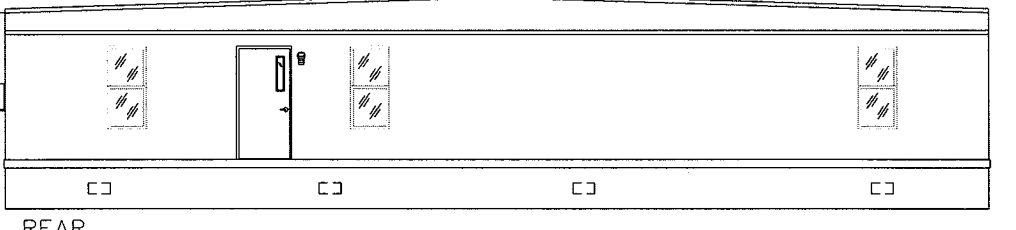
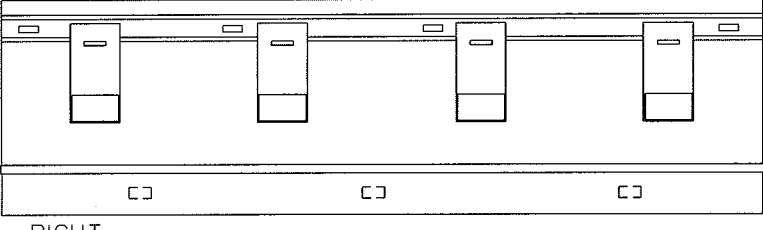
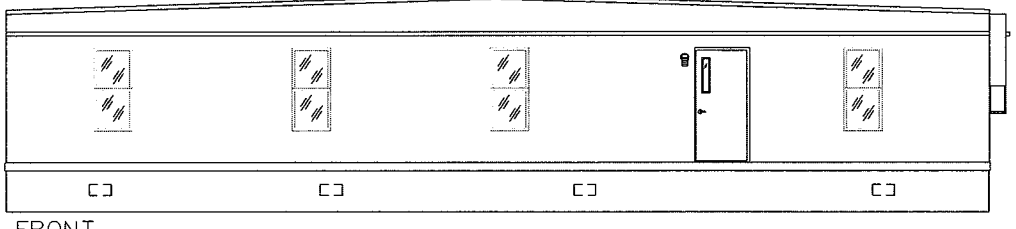
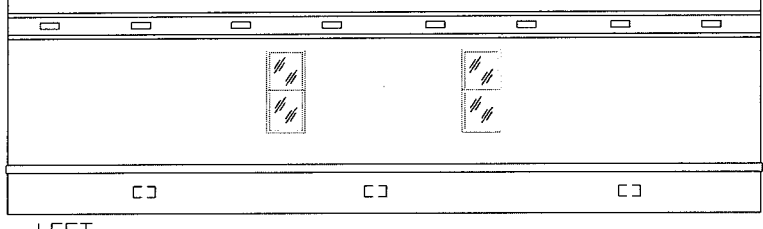
1. ALL FOUNDATION CONSTRUCTION MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
2. TIE-DOWN STRAPS TO BE 1-1/2" x 3/8" TIE-1 FINISH GRADE 304 STAINLESS STEEL STRAPPING COATED WITH GALVANIZED ZINC. TIE-DOWN STRAPS AND CONNECTING HARDWARE SHALL HAVE 2500 MINIMUM WORKING CAPACITY.
3. EACH GROUND ANCHOR SHALL HAVE A WORKING CAPACITY NO LESS THAN THE SUM OF THE REQUIRED WORKING CAPACITIES OF ALL TIE-DOWN STRAPS CONNECTED TO THE GROUND ANCHOR, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. LENGTH, NUMBER AND DIAMETER OF HELIXES, ETC. TO BE AS SPECIFIED BY THE GROUND ANCHOR MANUFACTURER. IF THE HOLDING OR PULL-OUT CAPACITIES OF GROUND ANCHORS ARE BELOW THE ASSUMED DESIGN VALUES, THE ARCHITECT/ENGINEER MUST BE CONSULTED FOR AN ALTERNATE ANCHORAGE DESIGN.
4. THE FIRST TIE-DOWN STRAP FROM ENDWALLS SHALL NOT EXCEED 1/2 THE MAXIMUM SPACING INDICATED.
5. ALL PIERS SHALL BE CONSTRUCTED OF CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. MASONRY UNITS SHALL BE Laid IN TYPE M OR S MORTAR OR COVERED WITH SURFACE BONDING AGENT INSTALLED IN ACCORDANCE WITH ITS LISTING. PIERS FOOTINGS SHALL BE AS INDICATED ABOVE.
6. MINIMUM CONCRETE FOOTING COMPRESSIVE STRENGTH 2,500 PSI AT 28 DAYS.
7. ALL REINFORCEMENT BARS SHALL COMPLY WITH ASTM A618, GRADE 60. REINFORCEMENT BARS SHALL BE EQUALLY SPACED AND PLACED WITH 3" CLEARANCE FROM BOTTOM AND SIDES OF THE FOOTING.
8. SEE SHEET ONE FOR DESIGN LOADS.
9. I-BEAM SUPPORT PIERS MAY BE INSTALLED LATERALLY (90° FROM THE ORIENTATION SHOWN ON THE FOUNDATION PLAN). CENTERLINE OF EACH PIER MUST BE LOCATED DIRECTLY BELOW THE I-BEAM CENTERLINE.
10. SOIL BEARING CAPACITY SHOWN ON THIS PLAN IS ASSUMED. IF THE ACTUAL SOIL BEARING CAPACITY IS LESS THAN 2,000 PSF, THE ARCHITECT/ENGINEER MUST BE CONSULTED FOR REQUIRED ALTERNATE FOUNDATION DESIGN. FOOTINGS SHALL BE PLACED ON NON-EXPANSIVE SOILS ONLY.
11. INSTALL BLOCK PIER ON EACH SIDE OF ALL EXTERIOR DOOR OPENINGS (MANUFACTURER'S RECOMMENDATION ONLY - OPTIONAL, WHEN NOT SHOWN) SIGHT ADJUSTMENT MAY BE REQUIRED TO INSURE OPENABILITY AFTER INSTALLATION OF BUILDING IS COMPLETE.
12. THE AREA UNDER FOOTINGS AND FOUNDATIONS SHALL HAVE ALL VEGETATION, STAMPS, ROOTS, AND FOREIGN MATERIALS REMOVED PRIOR TO THEIR CONSTRUCTION.
13. THE FOUNDATION DIMENSIONS SHOWN ARE NOMINAL. AN INCREASE IN MODULE WIDTH SHOULD BE EXPECTED DUE TO MODULE EXPANSION, SETTING TOLERANCES, ETC. THE FOUNDATION CONTRACTOR SHOULD CONSULT WITH THE MANUFACTURER OF THE MODULES PRIOR TO CONSTRUCTION OF THE FOUNDATION TO DETERMINE THE AMOUNT OF INCREASE WIDTH TO BE ADDED TO THE NOMINAL DIMENSIONS SHOWN ABOVE.

WALL LOAD	8'x8'x11psf	= 704#
FLOOR LOAD	5.83'x8'x50+10psf	= 2,795#
ROOF LOAD	5.83'x8'x(20+15psf)	= 1,633#
TOTAL LOAD		= 5,132#
AREA FTG. REQUIRES	5,135 / 2,000psf	= 2.5 sq.ft.
AREA	24x24 / 144	= 4.0 sq.ft.

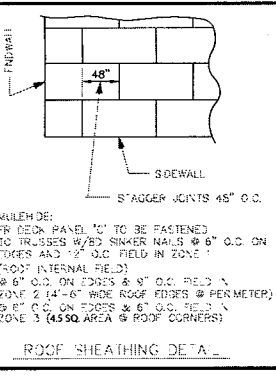


FOUNDATION, PIER BLOCKING, FOOTING, AND ANCHORING DETAILS SHOWN ON THESE PAGES ARE TO BE USED AS A REFERENCE SOURCE ONLY. IT WILL BE THE OWNERS RESPONSIBILITY TO CHECK WITH THE LOCAL CODE AUTHORITY TO VERIFY SPECIFIC REQUIREMENTS AFFECTING THE INSTALLATION, SETUP, AND UTILITY CONNECTION TO THIS BUILDING. T&R CUSTOM ASSUMES NO RESPONSIBILITY FOR LOCAL, COUNTY, AND MUNICIPAL CODE REQUIREMENTS FOR THIS STRUCTURE.

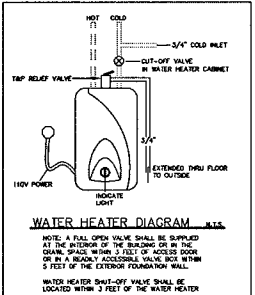
ALTERNATE FOUNDATION PLAN MAY BE DESIGNED BY OTHERS
 Add a pier directly under each side of exterior doors to prevent misalignment and dragging.



ELEVATIONS 3/16"=1'-0"



- (1) SKIRT, SKIRT VENTILATION, & ACCESS TO BE PROVIDED & INSTALLED BY OWNER ON SITE.
- (2) ALL GLASS IN DOORS & WITHIN 24" OF DOORS IS SAFETY GLAZED.
- (3) HANDICAP ACCESS REQUIREMENTS TO BE PROVIDED & INSTALLED BY OWNER ON SITE.
- (4) FOUNDATION ENCLOSURES (WHEN PROVIDED) MUST HAVE 1 SQUARE FOOT NET VENT AREA PER 150 SQ. FT. OF THE FLOOR AREA.
- (5) AN 12"x24" MINIMUM CRAWL SPACE ACCESS TO BE SITE INSTALLED BY OTHERS.



SUPPLY LINE NOTES

- 1) ALL SUPPLY LINES TO BE CPVC EXCEPT WHERE NOTED OTHERWISE.
- 2) ALL JOINTS TO BE BY MANUFACTURER APPROVED METHODS.
- 3) ALL FITTINGS TO BE PLASTIC, CHROME, BRASS, OR OTHER APPROVED MATERIAL.
- 4) ALL SUPPLY LINES TO HAVE APPROVED SHUTOFF VALVES.
- 5) LINES TO BE SUPPORTED VERTICALLY MAXIMUM 48" O.C.
- 6) LINES TO BE SUPPORTED HORIZONTALLY MAXIMUM 37" O.C.
- 7) ALL PIPING BELOW FLOOR NOT CONCEALED IN FLOOR CAVITY TO BE INSULATED WITH MIN. R-4.
- 8) INTERCONNECTION OF SEPARATE WATER HEATERS TO BE DONE ON SITE BY LICENSED PLUMBER AND SUBJECT TO LOCAL CODE JURISDICTION.

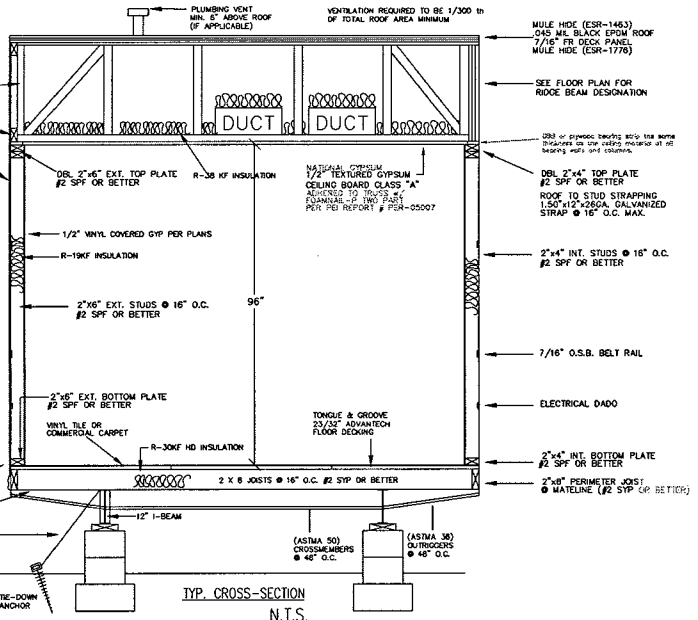
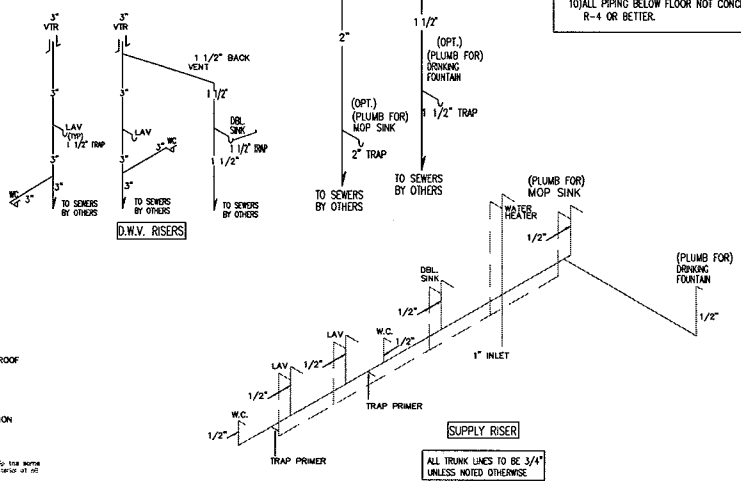
DRYV. NOTES

- 1) PIPING SHALL BE PVC SCHEDULE 40
- 2) ALL JOINTS SHALL BE MADE WITH FITTING EITHER SOLVENT WELDED OR THREADED ACCORDING TO APPROVED METHODS.
- 3) VERTICAL PIPING SHALL BE SUPPORTED AT BASE, MIDDLE, AND TOP.
- 4) HORIZONTAL PIPING SHALL BE SUPPORTED MINIMUM 48" O.C. AND AT EACH CHANGE OF DIRECTION.
- 5) ALL P-TRAP EXTENSION ARMS OVER 36" MIN. MUST BE SUPPORTED AT BASE AND AS CLOSE TO P-TRAP AS POSSIBLE.
- 6) PIPING 2.50" AND BELOW TO HAVE .25" FALL IN DIRECTION OF FLOW.
- 7) PIPING 3.00" AND ABOVE TO HAVE .125" FALL IN DIRECTION OF FLOW.
- 8) ALL VENTS THRU ROOF MUST PENETRATE ROOF COVERING A MIN. OF 6" AND MUST BE PROPERLY FLASHED.
- 9) FLASHING TO BE LEAD, COPPER, ALUMINUM, PLASTIC, OR NEOPRENE OF AN APPROVED TYPE.
- 10) ALL PIPING BELOW FLOOR NOT CONCEALED IN FLOOR CAVITY TO BE INSULATED WITH R-4 OR BETTER.

VERSA-LAM BEAM CONSTRUCTION

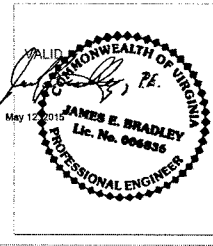
1 LAYER(S) 1/2" x 24" VERSA-LAM, EACH MODULE.

1. VERSA-LAM $f = 3100$ PSI
2. VERSA-LAM MUST BE CONTINUOUS OVER CLEARSPAN(S).
3. BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
4. FASTEN ROOF SHEATHING INTO TOP EDGE OF VERSA-LAM TO PROVIDE CONTINUOUS LATERAL SUPPORT OF BEAM.
5. INSTALL (2 X 4) X 20" SPPF 3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN. FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100% CLUE COVERAGE AND 6-16 GA. STAPLES WITH 3/4" MINIMUM PENETRATION INTO VERSA-LAM BEAM.
6. WHEN MORE THAN ONE LAYER OF VERSA-LAM IS INSTALLED ON EITHER SIDE OF THE MATING LINE, LAYERS ON EACH SIDE OF THE MATING LINE MUST BE FASTENED TOGETHER WITH 16 GA. STAPLES X 7/16" MINIMUM CROWN (INSTALLED PARALLEL TO BEAM SPAN) X 3/4" MINIMUM PENETRATION INTO CONNECTING LAYER STAPLES SHALL BE PLACED AT 6" O.C. MAXIMUM VERTICALLY AND HORIZONTALLY WITH FIRST AND LAST ROW OF STAPLES LOCATED 1" FROM TOP AND BOTTOM EDGE OF BEAM RESPECTIVELY.
7. VERSA-LAM (2.0-3100) INSTALLED IN ACCORDANCE W/VALVE/ARON REPORT ESM-C740



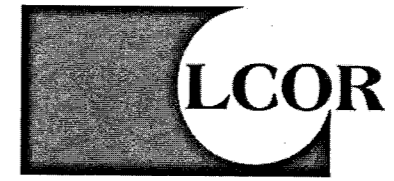
JAMES BRADLEY, P.E.
 CONSULTING ENGINEER
 1785 CARNEGIE AVENUE
 CLEARWATER, FL 33756

APPROVED
 05 12 2015

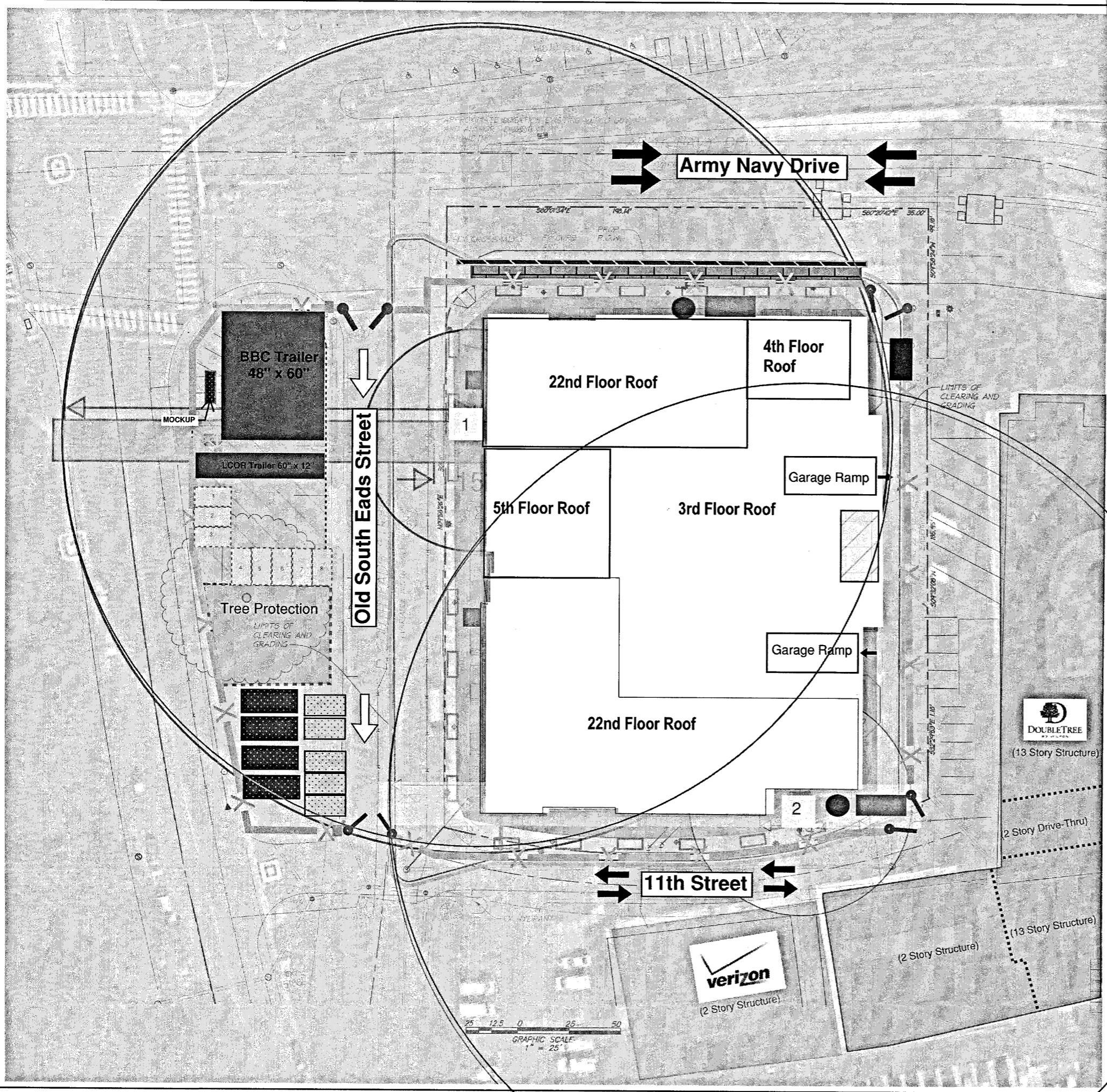


I&R Custom INCORPORATED
 P.O. Box 1079 892 N. Broad St.
 Ellaville, GA 31806 (229) 937-2581
 www.truustominc.com

SUBMITTAL # ITC 4800 VA STOCK
 43'x67' BUSINESS OCCUPANCY
 DATE: MAY 08, 2015
 STOCK FLOOR PLAN
 DRAWN BY: DRS
 SCALE: 1/8" = 1'-0" SHEET # 2 of 2
 LOCATION:



Balfour Beatty
Construction



-LEGEND-

①	Site Office Trailer	
②	Site Security Fence	
③	Site Entrances/Gates	
④	Temporary Power Shed	
⑤	Storage Sea Can	
⑥	Sub Job Trailer	
⑦	Dumpster	
⑧	Tower Cranes (Final Location TBD)	
⑨	Trash Chute	
⑩	Electrical Vault	
⑪	Man Door	
⑫	Existing Asphalt	
⑬	Hoist	
⑭	Below Grade Garage Demolition	
⑮	Existing Building Demolition	
⑯	Covered walkway	
⑰	Jersey Barrier	

THE ALTAIRE
-Construction Logistics Plan-

Photos of Teardrop Parcel of Land



Existing Conditions vs. Proposed Improvements

Existing

1. Grass
2. Sidewalks
3. Tree
4. Asphalt

Proposed

1. Construction Management Office Trailer
2. Connections to water and sanitary sewer
3. Miscellaneous storage
4. Construction fencing
5. Parking

1. Enact the attached Ordinance to Vacate: 1) a ten foot Storm Sewer Easement running northeast to southwest on Parcel B-3, Scott Terrace, RPC #32-001-049; 2) a portion of a five foot Sanitary Sewer Easement running east to west across the northern portion and continuing north to south along the western boundary of Parcel B-3, Scott Terrace, RPC #32-001-049; 3) a twenty foot Storm and Sanitary Sewer Easement running east to west through the southern portion of Parcel B-3, Scott Terrace; 4) a portion of a ten foot Storm Sewer Easement running east to west within the northern portion of Parcel B-1, Scott Terrace, RPC #32-001-048; 5) a portion of a five foot Sanitary Sewer Easement running east to west on the southern portion of Parcel A-1, Scott Terrace, RPC #32-001-046; and 6) a portion of a five foot Sanitary Sewer Easement running east to west within the northern portion of Parcel A-1, Scott Terrace, RPC #32-001-046, with conditions ("Ordinance").
2. Authorize the Real Estate Bureau Chief, Department of Environmental Services, or his designee, to execute and/or accept, on behalf of the County Board, the Deed(s) of Vacation, and all other documents necessary to effectuate the Ordinance, subject to approval as to form by the County Attorney.

With a language amendment, adding condition #59 to the adopted revised Form Base Code conditions to read as follows:

59. The developer agrees to remove the access gates on Columbia Pike and South Scott Street prior to the issuance of the first partial certificate of occupancy for the final residential building. Additionally, the developer agrees to not install any access gates that may impede access through the site.

The motion was adopted and carried by a vote of 5 to 0, the voting recorded as follows: LIBBY GARVEY, Chair - Aye, JAY FISETTE, Vice Chair - Aye, KATIE CRISTOL, Member - Aye, CHRISTIAN DORSEY, Member - Aye, JOHN VIHSTADT, Member - Aye.

Board Report #61 A. (Posted 07-13-2016)

Board Report #61 A. (Supplemental Report-Posted 07-19-2016)

Board Report # 61 B. (Posted 07-13-2016)

Addendum-07-20-16-A-FORM BASE CODE WITH REVISED CON #10, #18, #22, #30, AND ADDED #59

Addendum-07-20-16-A1-ORDINANCE TO VACATE-ATTACHMENT 1

Addendum-07-20-16-A2-VACATE- EXHIBIT A - PLAT

ooooo0oooo

62. TEARDROP PARCEL

- A. SP2-U-16-1 Use Permit for temporary contractor construction storage, staging, and parking located at the County owned "Teardrop Parcel" property to facilitate the construction of the approved 400 Army Navy Drive site plan project (SP #2); (RPC# 35-003-437).

- B. License agreement between Arlington County Board and Arlington Apartments L/CAL LLC for use of a portion of County Parcel, Parcel F, Pentagon Industrial Center, RPC #35-003-437, for construction office/staging purposes related to construction of SP #2.

Following a duly advertised public hearing, a motion was made by JAY FISETTE, Vice Chair seconded by KATIE CRISTOL, Member to adopt the following ordinance:

BE IT ORDAINED that, pursuant to the application SP2-U-16-1 on file in the office of the Zoning Administrator for the use permit associated with the site plan, for the temporary contractor construction storage, staging, and parking located at the County owned "Teardrop Parcel" property to facilitate the construction of the approved 400 Army Navy Drive site plan project (SP #2); (RPC# 35-003-437), approval is granted and the parcel so described shall be used according to the approval requested by the application subject to the proposed conditions of the staff report (Conditions #1-4) as amended within the July 14, 2016 supplemental report and with a three (3) year County Board review (July 2019).

1. Approved the attached License Agreement between Arlington County Board and Arlington Apartments L/CAL LLC for use of a portion of a County Parcel (RPC# 35-003-437) for Construction Office/Staging Purposes Related to Construction of SP #2 ("License Agreement"); and
2. Authorized the Real Estate Bureau Chief, Department of Environmental Services, or his designee, to execute on behalf of the County Board, the License Agreement and all related documents, subject to approval as to form by the County Attorney.

The motion was adopted and carried by a vote of 5 to 0, the voting recorded as follows: LIBBY GARVEY, Chair - Aye, JAY FISETTE, Vice Chair - Aye, KATIE CRISTOL, Member - Aye, CHRISTIAN DORSEY, Member - Aye, JOHN VIHSTADT, Member - Aye.

Proposed Conditions (with revisions to Conditions #1 and #2):

1. The applicant agrees that the Off-site Contractors' Storage and Staging Yard, approved at the July ~~19~~ 16, 2016 County Board meeting, shall be only associated with the construction of the adjacent site plan project (SP #2, 400 Army Navy Drive). The storage and staging area shall be in the area delineated in "The Altaire - Construction Logistics Plan" (the exact location of all requested construction trailers and storage containers may vary within the approved area).
2. The applicant agrees to comply with the conditions set forth in the License Agreement "[the Agreement]" between the County Board of Arlington County, Virginia and Arlington Apartments L/CAL, LLC for the purposes of using the "Teardrop Parcel" property (located at RPC# 35-003-437 adjacent to 400 Army Navy Drive), reviewed and approved by the County Board of Arlington County, Virginia on July ~~19~~ 16, 2016, for the life of the use permit. Any amendments to the Agreement shall require an amendment to this use permit.
3. The applicant agrees to ensure that Off-site Contractors' Storage and Staging Yard located within the "Teardrop Parcel" adjacent to the 400 Army Navy Drive site plan project (SP #2) complies with all requirements set forth in all applicable ordinances and regulations, including, by way of illustration and not limitation, those administered by the Inspection Services Division, the Zoning Office and the Fire Marshal's Office.
4. The applicant agrees to designate a neighborhood liaison to communicate with nearby residents and neighbors to address concerns which may be related to the temporary construction staging, storage, and parking use and an onsite liaison that shall be available during construction hours to receive and respond to community concerns regarding this use. The proposed neighborhood and onsite

liaison may be the same person. The name, telephone number, and electronic mail address of the designee(s) shall be submitted to the Zoning Administrator and a copy sent to the Crystal City Civic Association, the Aurora Highlands Civic Association, the Arlington Ridge Civic Association, and the Crystal City Business Improvement District (BID) prior to commencing this use.

Board Report #62 A. (Posted 07-13-2016)

Board Report #62 B. (Posted 07-13-2016)

Addendum-07-20-16-B- LICENSE AGREEMENT -REVISED and EXHIBIT B

Addendum07-20-16-B1- EXHIBIT C TO LICENSE

Addendum-07-20-16-B2-The Ataire Construction logistics plan

ooooo0oooo

ADDITIONAL ITEMS

Without objection, at 7:51 p.m., the Board adjourned.

LIBBY GARVEY, Chair

ATTEST:

HOPE L. HALLECK, Clerk
Approved:

USE PERMIT APPLICATION

Arlington County Zoning Division

GREG FREW

Permit #: ZADM160082

Revision

PROJECT NAME: 400 ARMY NAVY DRIVE - THE ALTAIRE

CPHD Case #:

02/08/2016

SUBJECT PROPERTY IDENTIFICATION:

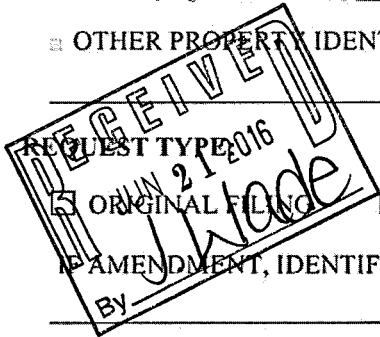


ADDRESS TEARDROP PARCEL OF LAND ADJACENT O 4

REAL PROPERTY CODE(S) 35003437

AREA (SQ. FT./ACRES) 12,000 SF ZONING DISTRICT(S) C-O-2.5

OTHER PROPERTY IDENTIFIERS TEARDROP PARCEL ADJACENT TO 400 ARMY NAVY DRIVE



REQUEST TYPE

ORIGINAL FILING AMENDMENT TO EXISTING USE PERMIT REVISION TO APPLICATION

IF AMENDMENT, IDENTIFY EXISTING USE PERMITS: _____

REQUESTED USE:

- CHILD CARE* TELECOMMUNICATIONS* OUTDOOR CAFÉ* LIVE ENTERTAINMENT*
- TRANSITIONAL USE SUBDIVISION PER §10. _____ KIOSK COMPREHENSIVE SIGN PLAN
- OTHER AS SPECIFIED LOCATION OF CONSTRUCTION MANAGEMENT OFFICE TRAILER AND MISC. STORAGE

*NOTE: In addition to the information on this form, the applicant must also provide associated supplemental information as provided for in the attached "Supplemental Information" document.

USE REQUESTED IS PERMITTED UNDER:

ARTICLE 12.10.3 OF THE ARLINGTON COUNTY ZONING ORDINANCE

APPLICANT INFORMATION:

OWNER OF RECORD CONTRACT OWNER** OCCUPANT**

NAME BALFOUR BEATTY CONSTRUCTION

ADDRESS 11325 RANDOM HILLS ROAD SUITE 500 FAIRFAX, VA 22030

PHONE NUMBER 703-609-5153 EMAIL GFREW@BALFOURBEATTYUS.COM

SIGNATURE

**NOTE: Property owner must consent to submission of this application in writing; include consent with application.

IF APPLYING ON BEHALF OF APPLICANT PROVIDE THE FOLLOWING:

NAME _____ TITLE _____

ADDRESS _____

PHONE NUMBER _____ EMAIL _____

CONTINUED >

DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND DEVELOPMENT
 ZONING DIVISION
 2100 CLARENDON BOULEVARD SUITE #1000
 ARLINGTON, VIRGINIA 22201
 PHONE (703) 228-3883 • FAX (703) 228-3896

SP2-4-16-1

USE PERMIT APPLICATION

PLEASE PROVIDE THE FOLLOWING INFORMATION WITH SUBMITTAL OF THIS APPLICATION TO THE ZONING DIVISION

APPLICATION FORM (11 COPIES)

- Subject Property Identification
- Request Type
- Requested Use
- Provide section of Arlington County Zoning Ordinance under which the use is permitted
- Provide applicant information and signature
- If applying on behalf of applicant provide identifying information

YES	NO
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

ATTACHMENTS/DOCUMENTS (11 COPIES)

- A Notarized Disclosure Statement per Article 15.1.3 of the Arlington County Zoning Ordinance
- Letter/Statement of Support providing a detailed description and supporting argument for the proposed use, including hours of operation, number of employees, equipment, use of outdoor areas, noise, etc.
- Statement of Consent from Property Owner to include owner's name, title, address, phone number and email
- Vicinity Map at 1:100 scale
- Provide a Certified Plat or Site Plan depicting all EXISTING site conditions/improvements. Plat/ Site Plan must be scaled using an Engineer's Scale.
- Provide a Plat/Site Plan depicting all PROPOSED site conditions/improvements. Plat must be scaled using an engineer's scale. Please note that a plat containing a Land Surveyor's or Engineer's seal is copyrighted and can not be altered without permission.
- If New Construction include the following:
 - Plot and location map; scale 1" = 25'-0"
 - Topographic map (2' intervals) showing existing and proposed grades; scale 1"= 25'-0"
 - Provide impervious area calculations, existing conditions and proposed
 - Landscape plan showing existing trees on site with a caliper of 6" or greater when measured at 4'-0" above grade
 - A description of the project and potential activities within the project
 - Potential methods of minimizing adverse impacts, including feasibility
- Floor Plan drawn to scale (architect's scale) as appropriate for the proposed use (if plan is larger than 8.5"x 11" please provide an additional copy of the plan at a reduced scale to fit 8.5"x 11")
- A chart or table depicting existing vs proposed modifications conditions and zoning tabulations for the following to included a field for required, provided and proposed modifications:
 - Parking/Loading and any requested modifications
 - Sign(s) and any requested modifications
 - Conversion of the Use of Space and any requested modifications
- Any additional drawings, plans, sketches or photographs pertinent to this request, to include existing tenant list, determination letters, prior approvals, certificates of occupancy, etc.

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
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<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUPPLEMENTAL INFORMATION (11 COPIES)

- Child Care Use Permit (attached)
- Telecommunications Use Permit (attached)
- Outdoor Café Use Permit (attached)
- Live Entertainment Use Permit (attached)

<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

ZONING OFFICE USE ONLY	
DATE RECEIVED: <u>6.17.11</u>	RECEIVED BY: <u>J. Wade</u>
APPLICATION FEE: \$ <u>187</u>	RECEIPT NUMBER: <u>R11001907</u>
ZONING DISTRICT: <u>C-0-2.5</u>	CASE NUMBER: _____

SUPPLEMENTAL INFORMATION

Arlington County Zoning Division

WHERE NOT PREVIOUSLY PROVIDED, PLEASE PROVIDE THE FOLLOWING SUPPLEMENTAL INFORMATION WITH SUBMITTAL OF THIS APPLICATION TO THE ZONING DIVISION

CHILD CARE USE PERMIT (11 COPIES)

YES NO

- Child Care Center Family Day Care Home
- Have you obtained a Memorandum of Support from Child Care Services indicating their analysis for expansion of the proposed number of children and your understanding of the requirements of Chapter 52 or Chapter 59 of the Arlington County Code? YES NO
- Is this an expansion of an existing Child Care Center or Family Day Care Home? If YES, provide associated permit number. YES NO
Existing Use Permit Number: _____
- Is there an outdoor play area? If YES, provide the square footage of the outdoor play area below. YES NO
Outdoor Play Area Square Footage: _____
- Is the outdoor play area fenced? If YES, provide description; include height, materials and finish. YES NO
Fence Description: _____

- Will there be care for children under 24-30 months of age? If YES, provide number below. YES NO
Number of Children: under 24 months of age: _____ under 30 months of age: _____
- Provide the number of staff onsite: Existing _____ Proposed _____
- Provide the total number of children: Existing _____ Proposed _____
- Provide a Final House Location Plat depicting all EXISTING site conditions/improvements. Plat must be scaled using an Engineer's Scale.
- Provide a House Location Plat depicting all PROPOSED site conditions/improvements. Plat must be scaled using an engineer's scale. Please note that a plat containing a Land Surveyor's or Engineer's seal is copyrighted and can not be altered without permission.
- If not provided in previous two plats/drawings please provide an additional scaled drawing (engineer's scale) depicting site parking, play area(s), fencing, additional structures and onsite circulation for pick up and drop off of the children.
- Provide a list of outdoor play equipment. Include photos or design details if able.
- Provide a scaled floor plan drawing (architect's scale) depicting all areas/rooms where children and their teachers/care takers will be present. Please be sure to note all exits that lead directly to the outside.
- Provide a Letter/Statement of Support from affected Civic Associations; If none, provide evidence of outreach to affected Civic Associations OR an explanation as to why no civic associations are affected by the proposed use.
- Provide Zoning Tabulations as necessary. (e.g. required and proposed parking, setbacks, height, lot coverage, etc.)

TELECOMMUNICATIONS USE PERMIT (11 COPIES)

YES NO

- Is this an expansion of an existing telecommunications facility? If YES, provide associated Use Permit number. YES NO
Existing Use Permit Number: _____
- Is the proposed telecommunications equipment replacing existing telecommunications equipment? If YES, provide a list of the equipment to be replaced. YES NO
- Provide a list of the telecommunications equipment to be installed. Include antennae, equipment cabinets, mounting structures, etc.
- Provide photographs of existing site conditions. Label/identify existing telecommunications equipment and identify the location of the proposed telecommunications equipment.

SUPPLEMENTAL INFORMATION

SUPPLEMENTAL INFORMATION

Arlington County Zoning Division

WHERE NOT PREVIOUSLY PROVIDED, PLEASE PROVIDE THE FOLLOWING SUPPLEMENTAL INFORMATION WITH SUBMITTAL OF THIS APPLICATION TO THE ZONING DIVISION

TELECOMMUNICATIONS USE PERMIT—CONTINUED (11 COPIES)

YES NO

- Provide the type of proposed/existing telecommunications facility.
 - Building Rooftop Monopole Other as specified below

-
- Provide a Certified Plat or Site Plan depicting all EXISTING site conditions/improvements. Plat/Site Plan must be scaled using an Engineer's Scale.
 - Provide a Plat/Site Plan depicting all PROPOSED site conditions/improvements. Plat must be scaled using an engineer's scale. Please note that a plat containing a Land Surveyor's or Engineer's seal is copyrighted and can not be altered without permission.
 - Provide the final height elevation of the proposed telecommunications improvements to include both mounting equipment and actual antennae. Be sure to note the highest point; i.e. if mounted antenna or associated equipment extends beyond the height of an existing monopole or rooftop mount, note the highest point.
 - Provide a Letter/Statement of Support from affected Civic Associations; If none, provide evidence of outreach to affected Civic Associations OR an explanation as to why no civic associations are affected by the proposed use.
 - Note: By way of information the applicant does not need to include electrical details or wiring diagrams for the purposes of this application.
 - Note: A lease agreement is not sufficient documentation for owner's consent and can not be used in place of the required letter of consent from property owner.

OUTDOOR CAFÉ USE PERMIT (11 COPIES)

YES NO

- Provide the number of proposed outdoor seats and tables.
- Provide the hours of operation associated with each day of the week as well as the months in which the outdoor seating will be offered.
- Does the proposed outdoor seating area contain any of the following amenities? If YES, provide a detailed description of said amenities to include photos, construction/design details and illustrative drawings as appropriate.
 - Planters - Host Station - Lighting
 - Umbrellas/Awnings - Barriers (moveable/fixed) - Bussing Station
 - Signs/Menu Boards - Portable heaters/fans - Speakers (identify directionality)

- Provide a Certified Plat or Site Plan depicting all EXISTING site conditions/improvements. Plat/Site Plan must be scaled using an Engineer's Scale.
- Provide a Plat/Site Plan depicting all PROPOSED site conditions/improvements. The Plat/Site Plan shall be inclusive and show the location of seats, tables, points of access/egress and all additional amenities (identified above) as appropriate. Plat must be scaled using an engineer's scale. Please note that a plat containing a Land Surveyor's or Engineer's seal is copyrighted and can not be altered without permission.
- Provide a Letter/Statement of Support from affected Civic Associations; If none, provide evidence of outreach to affected Civic Associations OR an explanation as to why no civic associations are affected by the proposed use.
- Please initial in space provided acknowledging that you are aware that all Outdoor Café(s) located in the Public Right of Way need to obtain approval and/or a permit from the Department of Environmental Services (DES). Questions, call DES at 703.228.3629

SUPPLEMENTAL INFORMATION

Arlington County Zoning Division

WHERE NOT PREVIOUSLY PROVIDED, PLEASE PROVIDE THE FOLLOWING SUPPLEMENTAL INFORMATION WITH SUBMITTAL OF THIS APPLICATION TO THE ZONING DIVISION

LIVE ENTERTAINMENT USE PERMIT (11 COPIES)

YES NO

- I have read the "Zoning Administrator's Advice" dated November 1, 2010 regarding Live Entertainment (attached) OR (<http://www.arlingtonva.us/departments/CPHD/planning/zoning/page78939.aspx>)

- The Subject Property wherein the proposed live entertainment is to take place has been established as a Restaurant or Nightclub (check one) and has obtained a Certificate of Occupancy as a Restaurant or Nightclub. If YES, please enclose a copy of said Certificate of Occupancy and Capacity Certificate. If NO, please know the Arlington County Zoning Ordinance only permits live entertainment (with Use Permit approval) in association with a restaurant and/or nightclub

- Provide the type of proposed live entertainment to include a detailed description.
 - Musical Ensemble Solo Performers Deejays (DJ) Karaoke
 - Comics/Comedians Theatrical Dancing Other as specified below

- Will the proposed live entertainment use amplified audio equipment? If YES, provide a brief description below.

- Will the proposed live entertainment be offered indoors or outdoors? (check one)
- Provide the hours live entertainment will be offered in association with each day of the week and current business hours of establishment wherein the live entertainment is provided.
- Provide a scaled floor plan drawing (architect's scale) depicting all areas/rooms where live entertainment will be setup/offered. This plan shall include the location of all equipment associated with live entertainment. (i.e. stage, DJ booth, karaoke machine, speakers, etc.)
- Provide a Letter/Statement of Support from affected Civic Associations; If none provide an explanation as to why no civic associations are affected by the proposed use.
- Note: If a dance floor or a space wherein patrons will be encouraged to dance is proposed, the applicant must also pursue and obtain a Dance Hall Permit from the Zoning Division.

DISCLOSURE STATEMENT

Arlington County Zoning Division

SUBJECT PROPERTY IDENTIFICATION:

DATE: 8/15/16

ADDRESS TEARDROP PARCEL ADJACENT TO 400 ARMY NAVY DRIVE
400 ARMY NAVY DRIVE, ARLINGTON VA 22202

REAL PROPERTY CODE(S) 35008-07

AREA (SQ. FT./ACRES) 12.000 ZONING DISTRICT(S) C-O-2.5

LOT(S) _____ BLOCK _____

SECTION _____ SUBDIVISION _____

OWNERSHIP:

YES NO

Is the owner of said real estate a corporation whose stock is traded on a national or local stock exchange and having more than five hundred (500) shareholders? If YES, give the name of the corporation and proceed to certification portion of this form.

YES NO

If NO, provide a list of the names, addresses and nature of interest of ALL persons having equitable ownership of the real estate to be affected. Include, in the case of corporate ownership, the names of stockholders, officers, directors and ALL parties in interest. If aforementioned information does not fit in the space provided, please attach an additional document as necessary.

PARCEL ADDRESS	NAME	ADDRESS	NATURE OF INTEREST
TEARDROP PARCEL	ARLINGTON COUNTY	2100 Clarendon Blvd Arlington, Va 22201	OWNER

SEE ATTACHED

CERTIFICATION:

I hereby certify that this is a true and accurate disclosure of all persons having equitable ownership in the real estate to be affected and of all parties in interest.

APPLICANT'S NAME GREG FREW/BALFOUR BEATTY TITLE ASSISTANT SUPERINTENDENT

ADDRESS 11325 RANDOM HILLS ROAD SUITE 500 FAIRFAX, VA 22030

SIGNATURE [Signature]

STATE OF Virginia, COUNTY OF Arlington TO WITNESS Greg Frew

Subscribed and sworn before me this 15 day of June, 20 16

Notary [Signature]

My commission expires 1/31/2016

TRACY ANN CHIANESE
NOTARY PUBLIC
REGISTRATION # 7612379
COMMONWEALTH OF VIRGINIA
MY COMMISSION EXPIRES
JANUARY 31, 2018

DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND DEVELOPMENT

ZONING DIVISION

2100 CLARENDON BOULEVARD SUITE #1000

ARLINGTON, VIRGINIA 22201

PHONE (703) 228-3883 • FAX (703) 228-3896

ZONING ADMINISTRATOR'S ADVICE

Arlington County Zoning Administration

November 1, 2010

LIVE ENTERTAINMENT

ISSUE:

The Arlington County Zoning Ordinance (ACZO) does not define "live entertainment". Based upon the language of the ordinance, and the consistent administrative practice, how is this term applied?

RESPONSE:

It has been the consistent administrative practice to define "Live Entertainment" as follows: any entertainment involving performances, or delivery of entertainment by one or more persons. Examples include:

- A musical ensemble
- Solo performers
- Deejays
- Karaoke
- Comics/Comedians
- Theatrical acts (when performed in a venue other than a theatre)
- Dancing

Although every set of facts must necessarily be determined individually, live entertainment would not usually include things like piped-in background music, where no "live" person is actively involved in the playing of the music. Please note that the ACZO only permits "live entertainment" in association with a restaurant and after the approval of a Use Permit by the County Board. Additionally, dancing is only permitted per the County Code where a live entertainment use permit has been granted.

The foregoing statement is advice of the Zoning Administrator, only, and is subject to change and is not subject to appeal. It is provided solely for information and in an effort to assist the public. It may not be relied upon as legal advice or as creating any vested right to any use.

Some districts permit "nightclub or restaurant". Webster defines a nightclub as including a restaurant, and therefore a nightclub would be permitted to apply for a live entertainment use permit.

Arlington County Zoning Division
2100 Clarendon Boulevard, Suite 1000
Arlington, VA 22201

Re: Arlington County Use Permit

To Whom It May Concern,

Per Article 12.10.3 of the Arlington County Zoning Ordinance, Balfour Beatty Construction proposes to use the "teardrop" parcel of land adjacent to the construction project at 400 Army Navy Drive. This parcel of land is bound by 11th Street on the south, Old South Eads Street on the east, Army Navy Drive on the north, and South Eads Street on the East. As shown in the attached documents, Balfour Beatty Construction has entered into an agreement with Arlington County to use the parcel of land for construction management personnel parking, construction trailers, construction fencing, and miscellaneous storage.

The land use is needed to provide adequate room to place construction trailers and supplies a safe distance away from the demolition of the existing building and construction of the new structure. We plan to incorporate this parcel of land into our overall construction logistics plan to ensure the overall safety of the construction personnel and surrounding community. Noise will be limited to the Arlington County approved work hours of 7:00am to 6:30pm Monday through Friday and 10:00am to 6:30pm on weekends and holidays. Tree protection has already been installed around the existing tree per Arlington County requirements and site field visit on January 4, 2016 with Vincent Verweij with Arlington County Department of Parks and Recreation.

Should you have any additional questions or concerns please contact me at 703-362-9960 or cmcgwier@balfourbeattyus.com

Sincerely,
Craig McGwier

Senior Project Manager
Balfour Beatty Construction

AMENDMENT TO SITE PLAN #2 400 ARMY NAVY DRIVE ARLINGTON, VA CIVIL ENGINEERING PLAN SET

SWM #15-1987

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015

RPC: #35002001
 EXISTING AREA: 1.65 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.
 ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT
 ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF
 TRANSPORTATION STANDARDS AND SPECIFICATIONS.

christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax, VA 22031-3907
 703.273.6820 · fax 703.273.7636



PROJECT NO: 09104.003.00
 DATE: 05-15-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMH

1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
 2 BETHESDA METRO CENTER
 BETHESDA, MD 20814
 301.847.0002

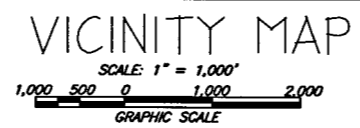
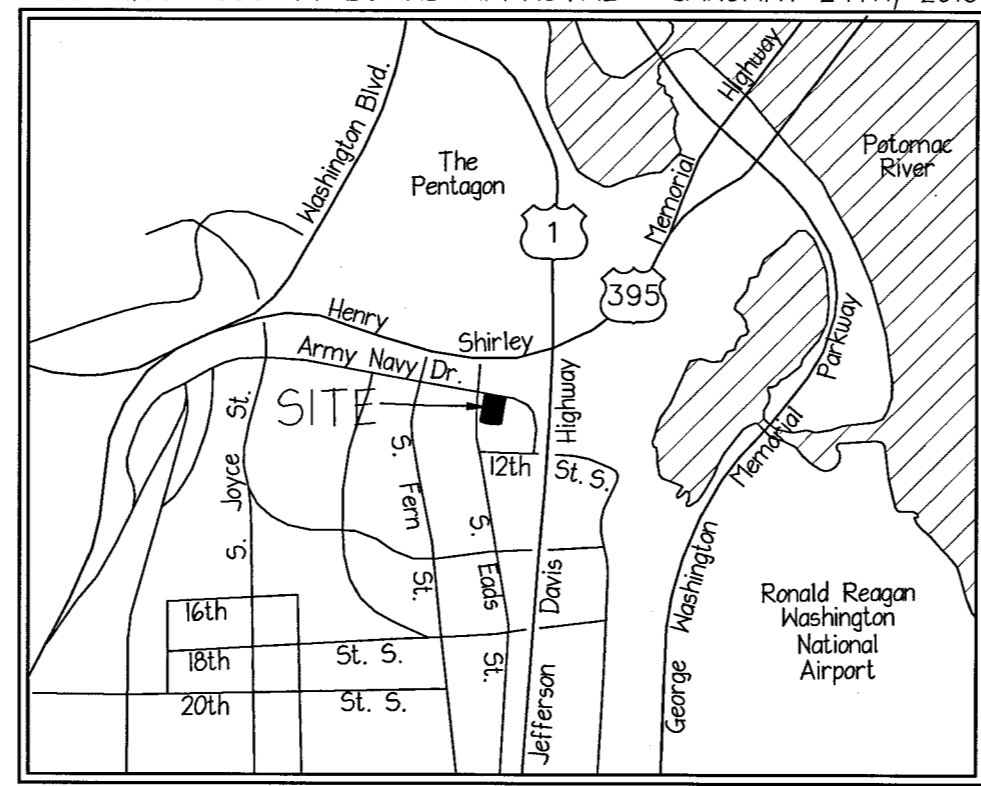
2. ARCHITECT:
SK#1
 1735 OLD GEORGETOWN RD.
 SUITE 1000
 BETHESDA, MD 20814
 301.654.9300

3. PLAN PREPARED BY:

christopher
 engineering · surveying · land planning
 christopher consultants, Ltd.
 9900 main street (fourth floor) · Fairfax, VA 22031-3907
 703.273.6820 · fax 703.273.7636

4. TRAFFIC ENGINEERS:
GOROVE / SLADE
 1140 CONNECTICUT AVE, NW
 SUITE 600
 WASHINGTON, DC 20036
 202.540.1924

5. ATTORNEYS:
**WALSH, COLUCCI, LUBELEY,
 ETRICH & WALSH, PC**
 2200 CLARENDON BLVD
 15TH FLOOR
 ARLINGTON, VA 22201-3359
 703.528.4700



NOTES:

- 1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.
- 2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

SHEET INDEX

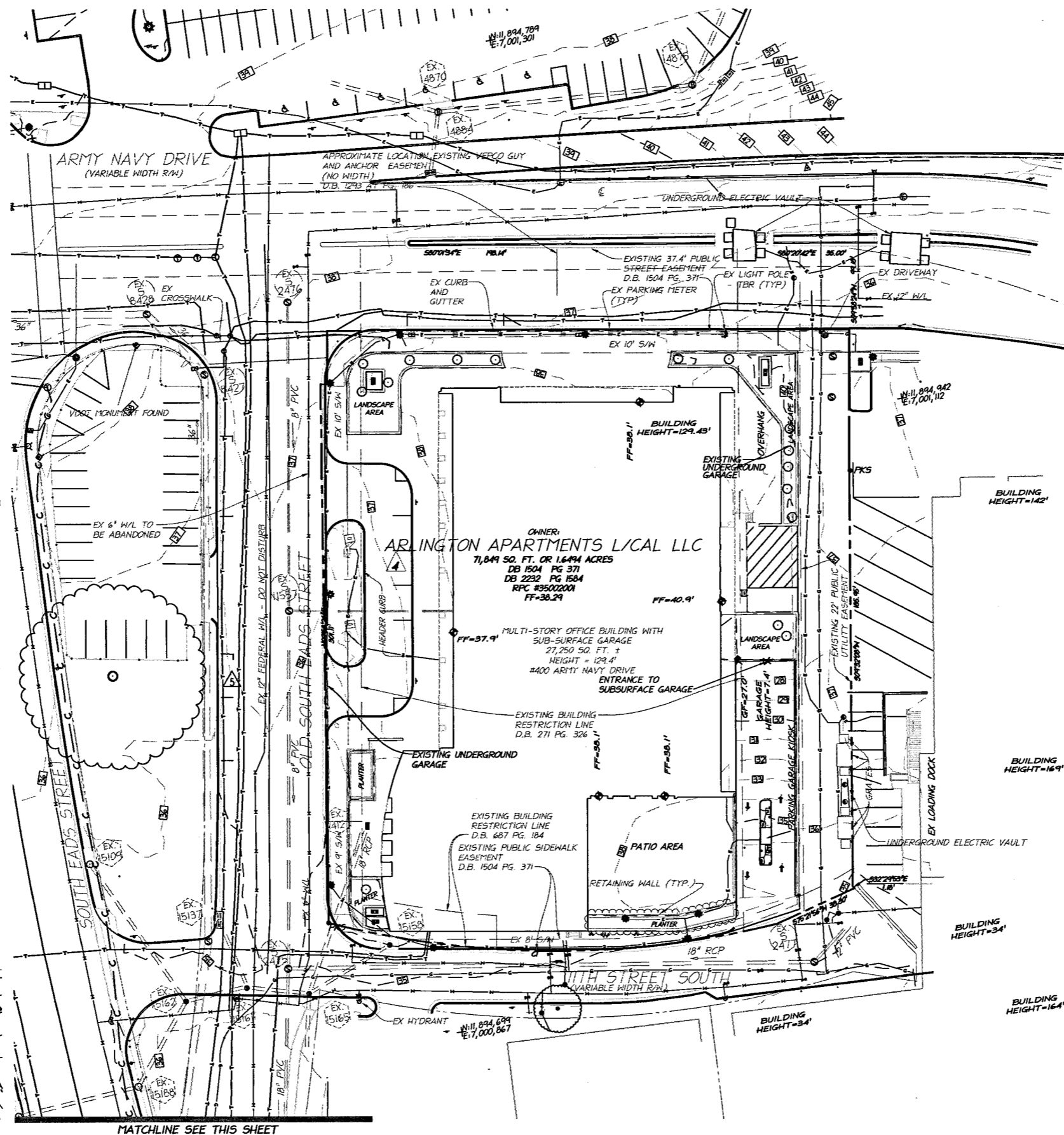
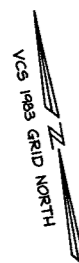
C1.0	COVER SHEET
C2.0 - C2.11	ARLINGTON COUNTY BOARD CONDITIONS
C3.0	GENERAL NOTES
C4.0	EXISTING CONDITIONS PLAN
C4.1	EXISTING TREE SURVEY
C4.2	SOILS MAP
C5.0	DEMOLITION PLAN
C5.1	SITE PLAN
C6.0	GRADING PLAN
C6.1	UTILITY PLAN
C6.2	DRY UTILITY PLAN
C7.0	COUNTY CONDUIT PLAN
C8.0	DIMENSION PLAN
C9.0	TRANSPORTATION, STRIPING AND SIGNAGE PLAN
C9.1	FIRE PROTECTION PLAN
C9.2	STREET SECTION PLAN
C9.3	STREETSCAPE IMPROVEMENT PLAN
C9.4	TURNING MOVEMENTS
C9.5	SWEEP PLAN, DETAILS, AND COMPUTATIONS
C10.0 - C10.3	EROSION AND SEDIMENT CONTROL PLAN - PHASE I
C10.1	EROSION AND SEDIMENT CONTROL PLAN - PHASE II
C10.2	EROSION AND SEDIMENT CONTROL PLAN - DETAILS
C10.3	SWPPP NOTES
C11.0 - C11.5	MAINTENANCE OF TRAFFIC PLAN
C11.1	LIGHTING NOTES & CALCULATIONS
C11.2	LIGHTING SPECIFICATIONS
C11.3	LIGHTING DEMOLITION PLAN
C11.4	LIGHTING PLAN
C11.5	LIGHTING DETAILS
C12.0	PHOTOMETRIC CALCULATIONS
C13.0	UTILITY PROFILES
C14.0	SITE DETAILS

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES

COVER SHEET
THE ALTAIRE
 AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA

SCALE: N/A SHEET: C1.0

EXISTING CONDITIONS
AND TOPOGRAPHIC MAP



RPC: #35002001
 EXISTING AREA: 1.65 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT
 ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF
 TRANSPORTATION STANDARDS AND SPECIFICATIONS.

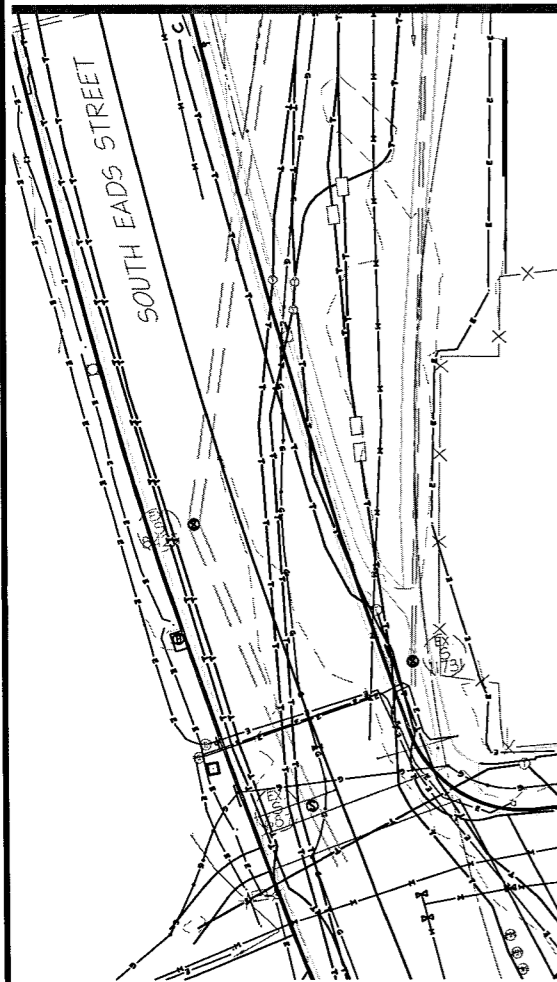
CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
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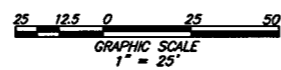
NOTES:

1.) SEE SHEET 230 FOR LEGEND.

MATCHLINE SEE THIS SHEET



MATCHLINE SEE THIS SHEET



christopher consultants
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 9900 main street (fourth floor) · fairfax va. 22031-3907
 703.273.6850 · fax 703.273.7636



11/23/2015
 IFC SET

PROJECT NO: 09014.03.00

DATE: 05-15-15

DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTM

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES

EXISTING CONDITIONS PLAN
THE ALTAIRE
 AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA

SCALE: 1"=25'

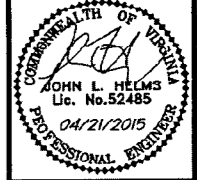
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AMENDMENT TO SITE PLAN #2 THE ALTAIRE 400 ARMY NAVY DRIVE MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION ARLINGTON, VA

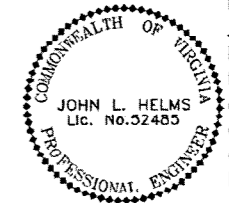
RPC: #35002001
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christopher consultants
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PROJECT NO: 09014.003.00
 DATE: 04-21-15
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: K144

Digitally signed by
 John Helms
 DN: c=US, cn=John
 Helms, o=christopher
 consultants, ou=christopher
 consultants
 Date: 2015.04.21
 16:15:16 -04'00'



**RED-LINE DOCUMENT FOR
TEARDROP USE**

ARLINGTON COUNTY BOARD APPROVAL - JANUARY 24TH, 2015

SHEET INDEX

CO1.0 COVER SHEET
 CO2.0 DEMOLITION PLAN
 CO3.0 - CO4.0 MAINTENANCE OF TRAFFIC PLAN

1. DEVELOPER:
ARLINGTON APARTMENTS L/CAL LLC
 2 BETHESDA METRO CENTER
 BETHESDA, MD 20814
 301.841.0002

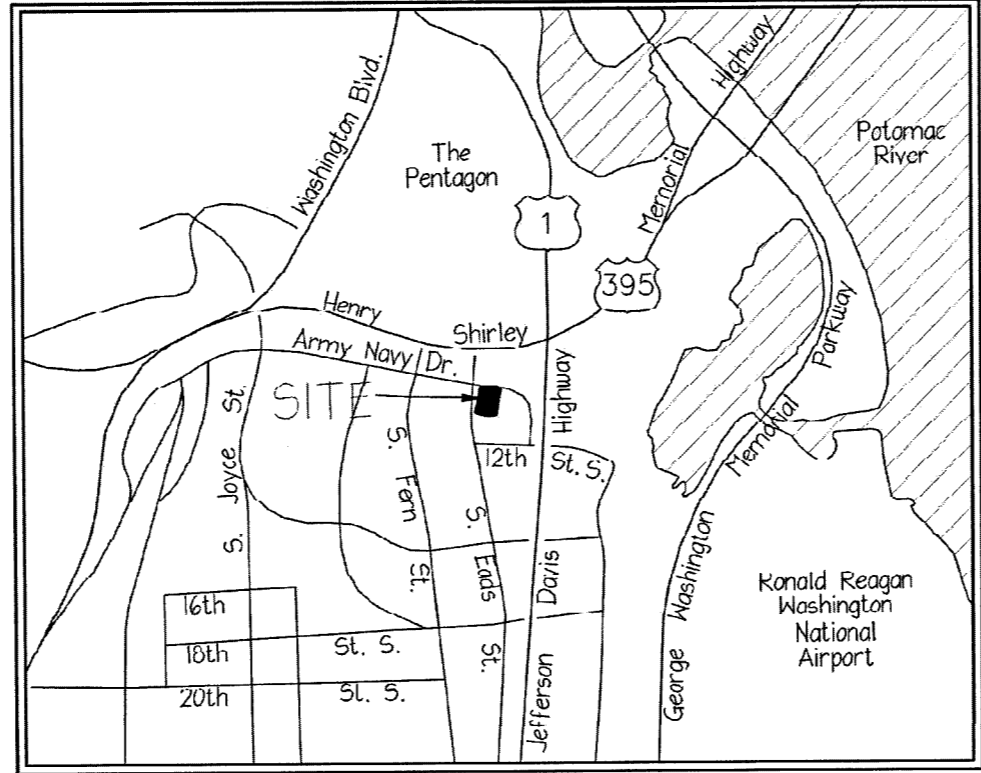
2. ARCHITECT:
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 301.654.9300

3. PLAN PREPARED BY:

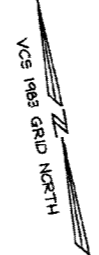
christopher
 engineering · surveying · land planning
 christopher consultants, llc
 9500 main street (fourth floor) · fairfax, va 22031-3907
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4. TRAFFIC ENGINEERS:
GOROVE / SLADE
 1140 CONNECTICUT AVE, NW
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 WASHINGTON, DC 20036
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**WALSH, COLUCCI, LUBELEY,
 ETTRICH & WALSH, PC**
 2200 CLARENDON BLVD
 15TH FLOOR
 ARLINGTON, VA 22201-3359
 703.528.4700



VICINITY MAP
 SCALE: 1" = 1,000'
 1,000 500 0 1,000 2,000
 GRAPHIC SCALE



**MOT TO REMAIN THE SAME WITH
THE EXCEPTION OF LOCATION OF
CONSTRUCTION TRAILER AND
MATERIAL STORAGE**

NOTES:

- 1.) THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.
- 2.) THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

**ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES**
 COVER SHEET - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: N/A SHEET: CO1.0

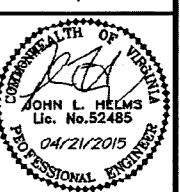
ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

 BRIDGET OBIKOVA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE

RPC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

christopher consultants
 engineering - surveying - land planning
 9800 main street (south lobby) - Fairfax VA 22031-3907
 703.773.8820 - fax 703.773.7636



PROJECT NO. 09014.003.00
 DATE: 04-21-15

DESIGN: JLH
 DRAWN: JLH
 CHECKED: KTH

NOTES:

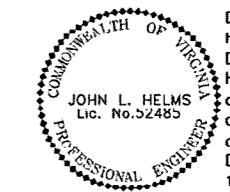
- 1.) CONTRACTOR TO CONTACT DES-PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK.
- 2.) CONTRACTOR TO COORDINATE WITH TRANSIT AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK. IF TRANSIT IS AFFECTED, THE APPLICANT WILL REMOVE THE EXISTING PARKING METERS AND REINSTALL AT THE CONCLUSION OF THE PROJECT AS NECESSARY.
- 3.) ALL EXISTING UTILITIES SERVICING THE SITE WILL BE DISCONNECTED IN ACCORDANCE WITH THE COUNTRY REGULATIONS.
- 4.) ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBTSTRUCTED AND ACCESSIBLE AT ALL TIMES, IN ACCORDANCE WITH SECTIONS 50B.5.4 AND 50B.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 5.) ACCESS TO BUILDINGS FOR FIREFIGHTERS SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 50B.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 140 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
- 6.) IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT THE ARLINGTON COUNTY FIRE DEPARTMENT FIRE PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
- 7.) NO EXISTING TREES WITHIN THE LIMITS OF DISTURBANCE WILL BE SAVED WITH THIS PROJECT.
- 8.) NO RESOURCE PROTECTED AREAS ARE LOCATED ON THIS SITE.
- 9.) EXISTING STREET LIGHTS SHALL REMAIN AT ALL TIMES DURING DEMOLITION. CONTRACTOR SHALL COORDINATE WITH THE COUNTY IF EXISTING LIGHTS CANNOT REMAIN DURING DEMOLITION AND TEMPORARY STREET LIGHTS ARE NEEDED.
- 10.) FOR LEGEND, SEE SHEET C3.0.

XXXXX - TO BE REMOVED

- PHASE I EXTERIOR DEMOLITION

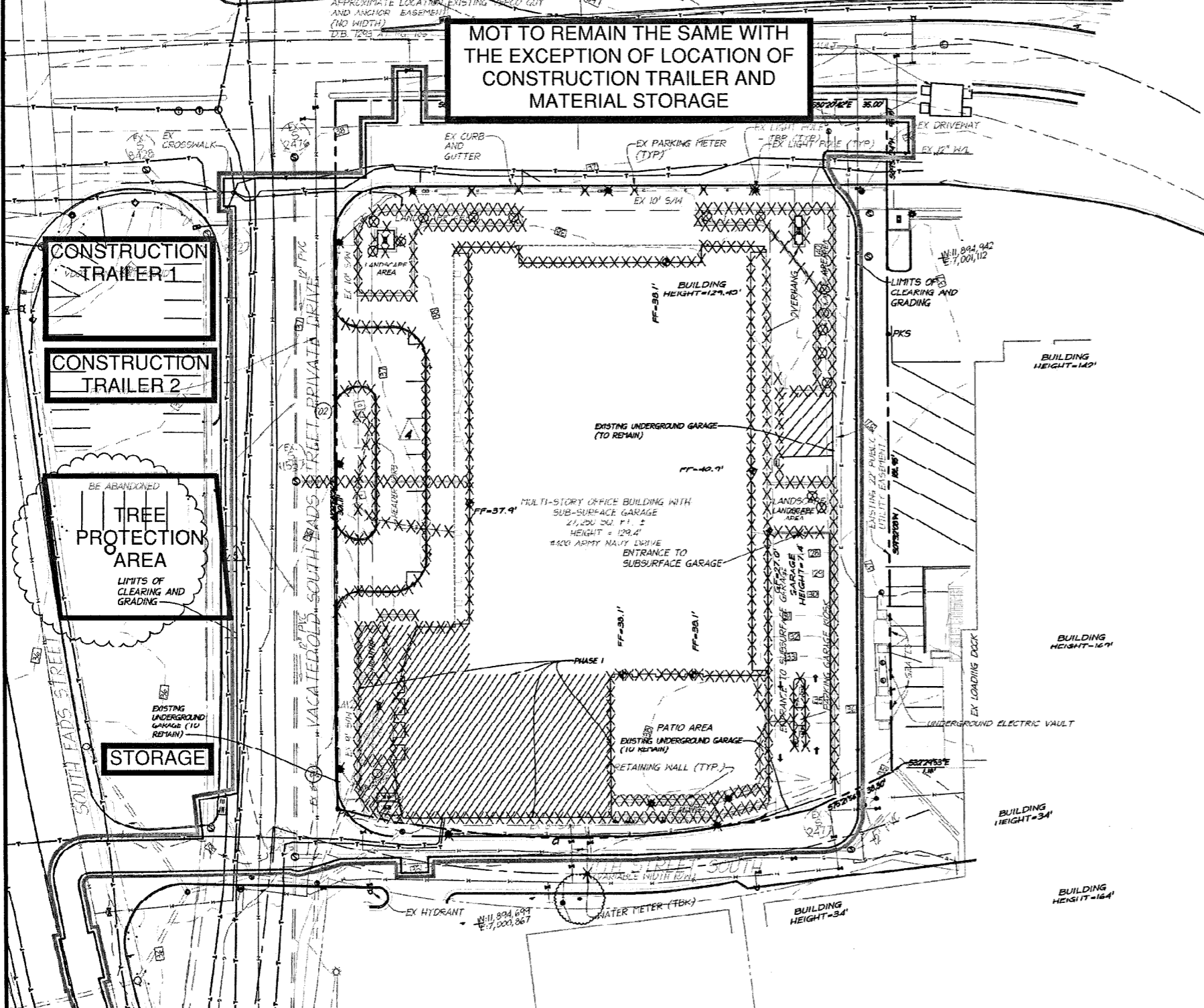
CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	410.50'	202.54'	28°16'36"	103.40'	N79°50'34"W	200.54'



Digitally signed by John Helms
 DN: c=US, cn=John Helms, ou=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:15:36 -04'00'

MOT TO REMAIN THE SAME WITH THE EXCEPTION OF LOCATION OF CONSTRUCTION TRAILER AND MATERIAL STORAGE



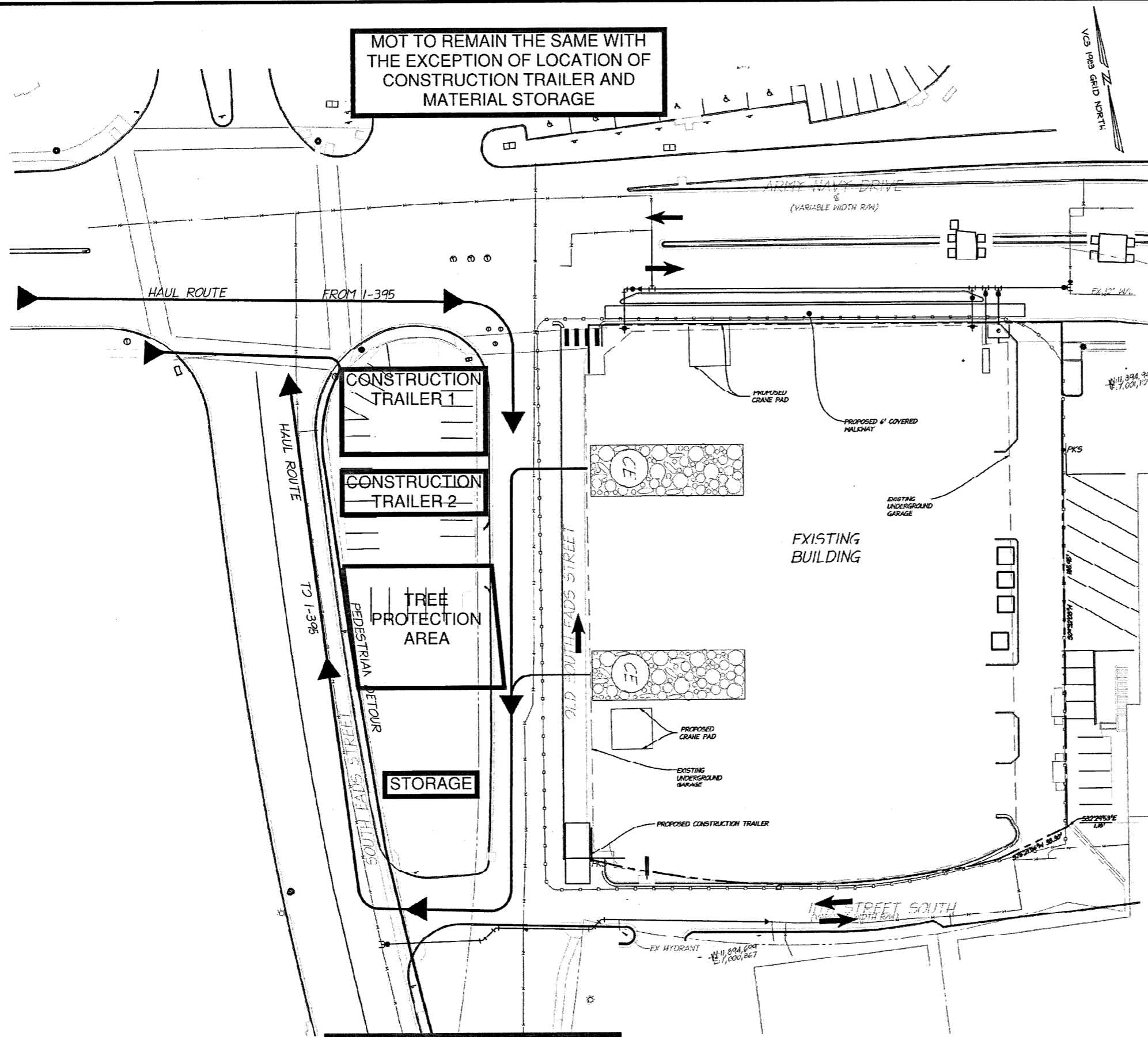
NARRATIVE:
 400 ARMY NAVY DRIVE CURRENTLY IS AN EXISTING MULTI-STORY OFFICE BUILDING WITH 3 LEVELS OF SUB-SURFACE PARKING. THE EXISTING BUILDING WILL BE DEMOLISHED TO THE FOUNDATION. THE WALLS FOR THE SUB-SURFACE PARKING GARAGE WILL REMAIN AND WILL BE UTILIZED TO STABILIZE AND SUPPORT THE SURROUNDING ROAD NETWORK WITH THE ADDITION OF WIRE TIE-BACKS.
 THE DEMOLITION WILL CONSIST OF A 2 WEEK MOBILIZATION PERIOD, FOLLOWED BY A 2 MONTH PERIOD OF INTERIOR DEMOLITION.
 THE NEXT PHASE OF THE DEMOLITION WILL BE THE REMOVAL OF THE 2 STORY BUILDING AROUND THE EXISTING TOWER AND THE PLANTER BOXES. THIS AREA IS SHOWN ON THE DRAWING AS 'PHASE I'. THE DEMOLITION OF THIS AREA WILL ALLOW FOR THE PLACEMENT OF THE CRANE PAD. DURING THIS TIME THE CONSTRUCTION ENTRANCE WILL BE LOCATED IN THE CURRENT DROP OFF LANE. THIS AREA IS CURRENTLY STABILIZED AND WILL REMAIN SO DURING THIS PHASE OF CONSTRUCTION. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE I' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. WE ANTICIPATE THAT THIS PHASE WILL BE CONCURRENT WITH THE INTERIOR DEMOLITION.
 AFTER THE DEMOLITION OF THE 2-STORY BUILDING AROUND THE TOWER OCCURS, A 6 TO 8 MONTH DEMOLITION OF THE TOWER WILL OCCUR. AS THE DEMOLITION OCCURS, THE CONSTRUCTION ENTRANCE WILL BE MOVED FROM THE DROP OFF LANE TO AN AREA ADJACENT TO THE CRANE. THIS CONSTRUCTION ENTRANCE HAS BEEN LABELED 'CE-PHASE 2' AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS. TIEBACKS WILL BE UTILIZED FOR THE EXISTING WALLS OF THE SUB-SURFACE PARKING GARAGE TO STABILIZE THE WALLS. THE SITE WILL REMAIN SECURE UPON COMPLETION OF THE DEMOLITION. EXCESS DEBRIS WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE APPROPRIATE PERMITS. TEMPORARY OR PERMANENT SEEDING WILL BE USED AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL PLANS.

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 DEMOLITION PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C02.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE

MOT TO REMAIN THE SAME WITH THE EXCEPTION OF LOCATION OF CONSTRUCTION TRAILER AND MATERIAL STORAGE



RPC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
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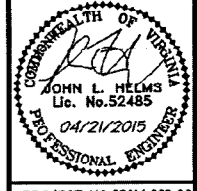
NARRATIVE:

THE TRAFFIC MANAGEMENT PLAN FOR 400 ARMY NAVY DRIVE MUST GUARANTEE THE SAFETY OF THE PUBLIC AND THE CONSTRUCTION TEAM WHILE ENSURING THE FULL FUNCTIONALITY OF THE SURROUNDING TRAVEL WAYS. DURING DEMOLITION, THE PARALLEL PARKING SPACES ALONG THE SOUTH SIDE OF ARMY NAVY DRIVE WILL BE OUT OF SERVICE FOR THE DURATION OF DEMOLITION. OLD SOUTH EADS STREET WILL BE CLOSED TO PUBLIC TRAFFIC. LANES OF TRAFFIC ON ARMY NAVY DRIVE AND 11TH STREET WILL REMAIN OPEN. SOUTH EADS WILL CONTINUE TO HAVE 2 WAY TRAFFIC CONSISTING OF 12' TRAVEL WAYS. VEHICLES WILL NOT BE IMPEDED BY CONSTRUCTION TRAFFIC AND EQUIPMENT. DEMOLITION IS EXPECTED TO LAST 8 MONTHS.

NOTES:

1. ALL TRAFFIC MAINTENANCE DEVICES, SIGNING, WORKSPACE AREAS, TAPER AND TRANSITIONAL BUFFER SPACE SHALL BE IN CONFORMANCE WITH THE MUTCD AND THE VIRGINIA WORK AREA PROTECTION MANUAL, CURRENT EDITION.
2. ACCESS TO ALL COUNTY TRAFFIC DEVICES SHALL REMAIN CLEAR AND UNOBSTRUCTED DURING ALL PHASE OF CONSTRUCTION, ANY DAMAGE TO TRAFFIC CONTROL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION AS SHOWN ON THE ENCLOSED MAINTENANCE OF TRAFFIC PLAN.
4. CONTRACTOR SHALL APPLY FOR CONSTRUCTION PERMIT AND PROVIDE MOT PLANS FOR APPROVAL DURING CONSTRUCTION.
5. SIDEWALK CLOSURE AND LANE CLOSURE SHALL BE IN ACCORDANCE WITH PART 6 OF THE MUTCD AND VIRGINIA WORK AREA PROTECTION MANUAL FOR SIDEWALK CLOSURES REFER TO FIGURE 6H-26 OF THE MUTCD (SIDEWALK CLOSURES AND BYPASS SIDEWALKS). FOR LANE CLOSURES REFER TO FIGURE 8-3 OF THE VIRGINIA WORK AREA PROTECTION MANUAL AND FIGURES 6H-10, 6H-18, 6H-21 THRU 6H-27 OF THE MUTCD.
6. CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS DURING CONSTRUCTION AND SHALL SUBMIT MOT PLANS FOR APPROVAL AT THAT TIME.
7. ALL SPOILS SHALL BE HAULED PER THE DESIGNATED ROUTE TO THE LIGHT AT ARMY NAVY DRIVE. ALL SPOILS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
8. CONTRACTOR TO ENSURE VEHICLE ACCESS AROUND THE SITE AT ALL TIMES. FLAGGERS TO BE USED AS NEEDED TO HELP CONTROL/MAINTAIN TRAFFIC FLOW.
9. CONSTRUCTION WORKERS ARE NOT PERMITTED TO PARK ON THE STREET.
10. THE CONTRACTOR SHALL IMPLEMENT EACH APPROVED MOT. EXCEPTIONS MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED BELOW, DURING ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES. "EMERGENCY" STREET CLOSURES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE RELATING TO RUPTURE OR POTENTIAL RUPTURE OF A WATER OR GAS MAIN, UNSECURED BUILDING FACADE, OR SIMILAR UNFORESEEABLE PUBLIC DANGER. "EMERGENCY" STREET CLOSURES SHALL NOT INCLUDE CLOSURES FOR SETTING UP OR DISMANTLING OF A CRANE, EXTERIOR BUILDING CONSTRUCTION, MATERIALS DELIVERIES, UTILITIES WORK, OR SIMILAR SITUATIONS TO MOT NOTES SECTION.
11. PARKING SHALL BE RESTRICTED BY THE COUNTY AS PART OF THE RIGHT OF WAY PERMIT. CONTACT PERMITTING SECTION AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK AT 703-228-3609.
12. CONTRACTOR SHALL COORDINATE WITH TRANSIT AT 703-228-3049 AT LEAST 2 WEEKS PRIOR TO COMMENCEMENT OF WORK IF TRANSIT IS AFFECTED.
13. ALL EXISTING FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED UNOBSTRUCTED AND ACCESSIBLE AT ALL TIMES IN ACCORDANCE WITH SECTIONS 508.5.4 AND 508.5.5 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
14. ACCESS TO BUILDINGS FOR FIREFIGHTING SHALL BE MAINTAINED AT ALL TIMES. EXISTING FIRE APPARATUS ACCESS ROADS (FIRE LANES) SHALL BE KEPT CLEAR OF OBSTRUCTIONS IN ACCORDANCE WITH SECTION 503.4 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE. ACCESS TO CONSTRUCTION SITES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH SECTION 140 OF THE ARLINGTON COUNTY FIRE PREVENTION CODE.
15. IN THE EVENT THAT EXISTING FIRE DEPARTMENT CONNECTIONS OR FIRE APPARATUS ACCESS ROADS (FIRE LANES) MUST BE OBSTRUCTED TO FACILITATE CONSTRUCTION ACTIVITIES, CONTACT ARLINGTON COUNTY FIRE DEPARTMENT PREVENTION OFFICE AT 703-228-4644 TO COORDINATE REVIEW AND APPROVAL OF TEMPORARY FIRE DEPARTMENT CONNECTIONS AND/OR FIRE APPARATUS ACCESS ROADS PRIOR TO CREATING THE OBSTRUCTION.
16. THROUGHOUT DEMOLITION, A SIX FOOT MINIMUM, LIGHTED, PROTECTED PEDESTRIAN ACCESS SHALL BE PROVIDED IN ARMY NAVY DRIVE. EXCEPTION MAY BE MADE ONLY DURING AN EMERGENCY AS DEFINED IN CONDITION #10C, DURING AN ACTUAL DEMOLITION WHEN INSPECTION SERVICES DIVISION HAS DETERMINED THAT PEDESTRIAN ACCESS ADJACENT TO THE SITE SHOULD BE LIMITED FOR SAFETY REASONS, AND FOR SUCH LIMITED PERIODS AS ARE UNAVOIDABLE FOR UTILITY UPGRADES OR CONSTRUCTION OF THE SIDEWALK ALONG ARMY NAVY DRIVE.
17. HAUL ROUTE - ALL CONSTRUCTION TRAFFIC TRAVELING WEST ON 11TH STREET, SHALL TRAVEL TO SOUTH EADS STREET, TO ARMY NAVY DRIVE, AND THEN TO 3RD.
18. UNLESS OTHERWISE MENTIONED, WORK HOURS FOR CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT OF WAY WILL BE MON.-FRI., 9 A.M.-4 P.M. WEEKEND WORK HOURS WILL BE DETERMINED ON A CASE-BY-CASE BASIS. NIGHT WORK ON WEEKDAYS FROM 9 P.M.-7 A.M. AND WEEKENDS FROM 9 P.M.-10 A.M. MUST FILE FOR A NOISE EXEMPTION REQUEST FROM CODE ENFORCEMENT. ALL OTHER CONSTRUCTION ACTIVITIES SHALL TAKE PLACE BETWEEN THE HOURS OF 7 A.M. AND 6:30 P.M. ON WEEKDAYS AND 10 A.M. AND 6:30 P.M. ON WEEKENDS.
19. ALL STREETS SHALL REMAIN. IF TEMPORARY LIGHTING IS NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE INSPECTOR FOR LOCATIONS.

christopher consultants
 engineering · surveying · land planning
 9900 main street (fourth floor) · Fairfax Va 22031-3907
 703.273.4820 · fax: 703.273.7636

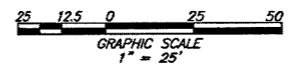


PROJECT NO: 0914.003.00
 DATE: 04-21-15
 DESIGN: J.L.H.
 DRAWING: J.L.H.
 CHECKED: K.M.H.



Digitally signed by John Helms
 DN: c=US, cn=John Helms,
 ou=christopher consultants,
 ou=christopher consultants
 Date: 2015.05.13 11:12:12 -0400

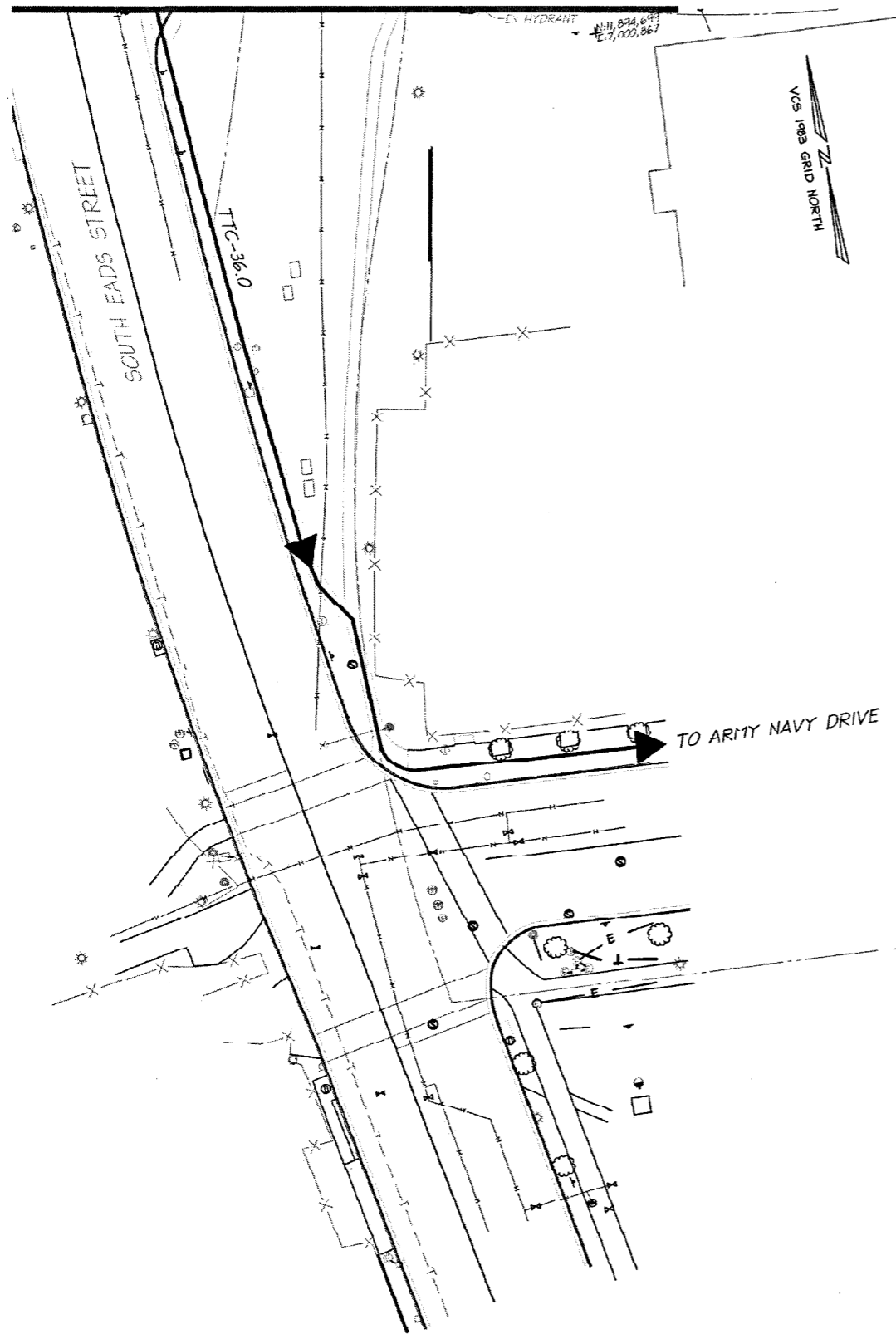
ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 MAINTENANCE OF TRAFFIC PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
 THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C03.0



ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

 BRIDGET O'BRIEN
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE

MATCHLINE SEE SHEET C03.0



TTC-36.0:

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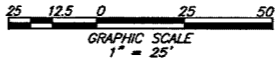
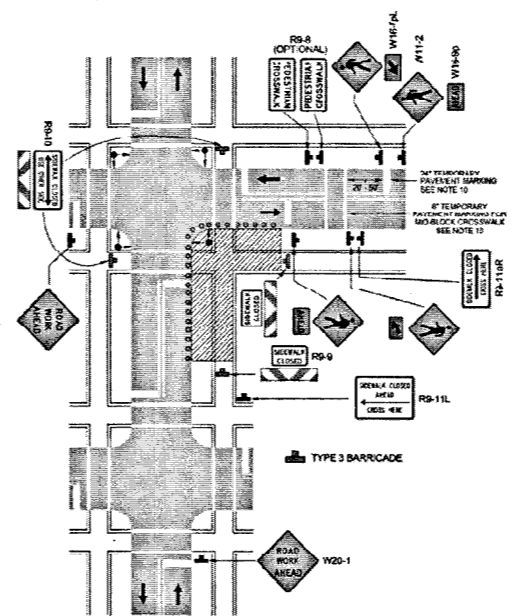
Typical Traffic Control
Crosswalk Closure and Pedestrian Detour Operation
(Figure TTC-36.0)

NOTES

- Standard:**
- When crosswalks or other pedestrian facilities are closed or relocated, temporary facilities shall be installed and shall include accessibility features consistent with the features present in the existing pedestrian facility.
 - Curb parking shall be prohibited for at least 50 feet in advance of the midblock crosswalk.
- Guidance:**
- Audible information devices should be considered where midblock closings and changed crosswalk areas cause inadequate communication to be provided to pedestrians who have visual disabilities.
 - Pedestrian traffic signal displays controlling closed crosswalks should be covered or deactivated.
 - Temporary markings should be considered for operations exceeding three days in duration.
- Option:**
- Only the TTC devices related to pedestrians are shown. Other devices, such as lane closure signing or KUMBI MARKERS (W-2-1) signs, may be used to control vehicular traffic.
 - For right-of-way closures, Type A Flashing warning lights may be used on barricades supporting signs and closing sidewalks.
 - In order to maintain the systematic use of the fluorescent yellow-green background for pedestrian, bicycle, and school warning signs in a jurisdiction, the fluorescent yellow-green background for pedestrian, bicycle, and school warning signs may be used in TTC zones.
- Standard:**
- All sidewalk closures shall be closed with Type 3 Barricades.
- Support:**
- Refer to Sections 3B-16 through 3B-18 of the 2009 MUTCD for optional stop lines, yield lines and other related TTC devices that may be used to control vehicular traffic at midblock crosswalks.

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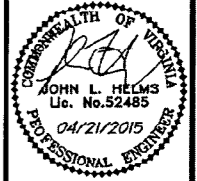
Crosswalk Closure and Pedestrian Detour Operation
(Figure TTC-36.0)



REC: #35002001
 EXISTING AREA: 1.64 AC OR 71,849 S.F.
 VACATION AREA: 0.106 AC OR 4,624 S.F.
 DEDICATION AREA: 0.21 AC OR 9,202 S.F.
 FINAL TOTAL AREA: 1.55 AC OR 67,916 S.F.

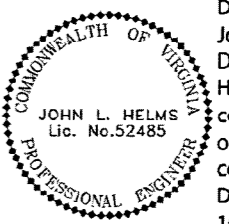
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT
 ARLINGTON COUNTY AND VIRGINIA DEPARTMENT OF
 TRANSPORTATION STANDARDS AND SPECIFICATIONS.

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PROJECT NO: 09014.003.00
 DATE: 04-21-15

DESIGN: JLH
 DRAWN: JLH
 CHECKED: RMW



Digitally signed by
 John Helms
 DN: c=US, cn=John Helms, o=christopher consultants, ou=christopher consultants
 Date: 2015.04.21 16:16:05 -04'00'

ARLINGTON COUNTY, VIRGINIA
 DEPARTMENT OF ENVIRONMENTAL SERVICES
 MAINTENANCE OF TRAFFIC PLAN - MAINTENANCE OF TRAFFIC PLAN FOR DEMOLITION
THE ALTAIRE - AMENDMENT TO SITE PLAN #2
 400 ARMY NAVY DRIVE
 ARLINGTON COUNTY VIRGINIA
 SCALE: 1"=25' SHEET: C04.0

ARLINGTON VIRGINIA DEPARTMENT OF ENVIRONMENTAL SERVICES

 BRIDGET OBIKOYA
 ENGINEER, DES - TRANSPORTATION ENGINEERING & OPERATIONS
 6/15/2015
 APPROVAL DATE

ACCESSIBILITY NOTES:

1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE.
2. ACCESSIBLE DRINKING FOUNTAINS SHALL HAVE A SPOUT HEIGHT NO HIGHER THAN 36 INCHES ABOVE THE FLOOR AND NO DEEPER THAN 34 INCHES ABOVE THE FLOOR FOR INDIVIDUALS IN WHEELCHAIRS. ADDITIONALLY, DRINKING WATER PROVISIONS SHALL BE MADE FOR INDIVIDUALS WHO HAVE DIFFICULTY BENDING.
3. WHERE STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS AND DRAWERS ARE PROVIDED AT LEAST ONE TYPE PROVIDED SHALL CONTAIN STORAGE SPACE COMPLYING WITH THE FOLLOWING: DRAWERS SHALL BE 15 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR; CLOSET OR SIDE REACH CLOSET ROADS OR CLOTHES SHALL BE A MAXIMUM OF 48 INCHES ABOVE THE FLOOR (48 INCHES MAXIMUM WHEN DISTANCE FROM WHEEL CHAIR TO ROD EXCEEDS 10 INCHES); SHELVES IN RESTROOM OR TOILET ROOMS SHALL BE 48 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE FLOOR.
4. CONTROLS, DISPENSERS, RECEPTABLES AND OTHER OPERABLE EQUIPMENT SHALL BE NO HIGHER THAN 48 INCHES ABOVE THE FLOOR. EXCEPTION: HEIGHT LIMITATIONS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL RECEPTABLES ARE NOT NORMALLY INTENDED FOR USE BY BUILDING OCCUPANTS.
5. WHERE EMERGENCY WARNING SYSTEMS ARE PROVIDED, THEY SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT INCLUDING RESTROOM, AND PLACED 80 INCHES ABOVE THE FLOOR OR 6 INCHES BELOW CEILING, WHICH-EVER IS LOWER.
6. ALL DOORS SHALL BE OPERABLE BY A SINGLE EFFORT. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MAXIMUM. THE MAXIMUM FORCE REQUIRED FOR PUSHING OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL NOT EXCEED 5 LBS. FOR ALL SINGLY AND INTERIOR HINGED DOORS.
7. FLOOR SURFACES SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN 0.25 INCH AND 0.5 INCH SHALL BE BEVELLED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 0.5 INCH REQUIRE RAMP. CARPET PILE THICKNESS SHALL BE 0.5 INCH. CRACKS IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5 INCH IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH IN HEIGHT.
8. ACCESSIBLE WATER CLOSETS SHALL BE 17 INCHES TO 19 INCHES MEASURED FROM THE FLOOR TO THE TOP OF THE SEAT. GRAB BARS SHALL BE 36 INCHES LONG MINIMUM. WHEN LOCATED BEHIND WATER CLOSET, GRAB BARS SHALL BE 36 INCHES ABOVE THE FLOOR. IN ADDITION, A VERTICAL GRAB BAR 18 INCHES MINIMUM IN LENGTH SHALL BE MOUNTED ON THE SIDEWALL AT THE BOTTOM OF THE BAR LOCATED BETWEEN 36 AND 41 INCHES ABOVE THE FLOOR, AND WITH THE CENTER LINE OF THE BAR LOCATED BETWEEN 39 INCHES AND 41 INCHES FROM THE REAR WALL.
9. ACCESSIBLE URINALS SHALL BE STALL-TYPE OR WALL HUNG WITH ELONGATED RIMS AT A MAXIMUM OF 17 INCHES ABOVE THE FLOOR.
10. ACCESSIBLE LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE RIM NO HIGHER THAN 34 INCHES ABOVE THE FLOOR. KNEE CLEARANCE OF AT LEAST 27 INCHES HIGH MUST BE PROVIDED WITH A MINIMUM DEPTH OF 8 INCHES BENEATH THE FIXTURE, AND 8 INCHES HIGH MINIMUM WITH A MINIMUM DEPTH OF 11 INCHES BENEATH THE FIXTURE. THE KNEE SPACE MUST BE AT LEAST 30 INCHES LONG, AND INTERIOR HINGED DOORS.
11. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. INSULATION OR PROTECTION MATERIALS MAY BE SITE INSTALLED, THERE SHALL BE NO SHARP OR ABRAISIVE SURFACES UNDER ACCESSIBLE LAVATORIES AND SINKS.
12. ACCESSIBLE LAVATORIES AND SINKS SHALL HAVE ACCESSIBLE FAUCETS (I.E. LEVER-OPERATED, ELECTRONICALLY CONTROLLED).
13. MIRRORS LOCATED ABOVE LAVATORIES, SINKS OR COUNTERTOPS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE A MINIMUM OF 20 INCHES ABOVE THE FLOOR. OTHER MIRRORS IN TOILET ROOMS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35 INCHES MAXIMUM ABOVE THE FLOOR.
14. GRAB BARS HAVING A CIRCULAR CROSS SECTION SHALL HAVE AN OUTER DIAMETER OF 1.25 INCHES MINIMUM AND 2.0 INCHES MAXIMUM. THE SPACE BETWEEN THE GRAB BAR AND THE WALL SHALL BE 1.5 INCHES.
15. WATER CLOSET FLUSH CONTROL SHALL BE INSTALLED A MAXIMUM OF 36 INCHES ABOVE THE FLOOR AND SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.
16. DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (I.E. LEVER-OPERATED, PUSH/TYPE, UP-SHAPED) OPERABLE PARTS BETWEEN 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR.
17. TOILET STALL DOORS SHALL BE SELF-CLOSING TYPE.
18. A TONER DISPENSER SHALL BE LOCATED ADJACENT TO ALL ACCESSIBLE LAVATORIES.

GENERAL NOTES:

1. ACCESS TO BUILDING FOR PERSONS IN WHEELCHAIRS IS DESIGNED BY AND FIELD BUILT BY OWNER AND SUBJECT TO LOCAL JURISDICTION APPROVAL. THE PRIMARY ENTRANCE MUST BE ACCESSIBLE.
2. ALL TOILET SHALL BE OPERABLE FROM THE EXTERIOR SIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR SPECIAL MANIPULATED FLUSH BOLTS.
3. ALL GLAZING WITHIN A 24 INCH ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY TEMPERED OR acrylic plastic sheet.
4. ALL STEEL TRAPES REFERENCED ON FLOOR PLAN SHALL BE 1.5 INCH x 26 GA WITH 8" x 15 GA x 7/16 INCH CROWN x 1 INCH STAKES EACH END OF STRAP OR EQUIPMENT FROM ROPE BEAM TO COLUMN AND COLUMN TO FLOOR.
5. PORTABLE FIRE EXTINGUISHER PER NFPA - 10 INSTALLED BY OTHERS ON SITE, AND SUBJECT TO LOCAL JURISDICTION.
6. PROVISIONS FOR EXIT DISCHARGE LIGHTING ARE THE RESPONSIBILITY OF THE BUILDING OWNER AND SUBJECT TO LOCAL JURISDICTION APPROVAL. WHEN NOT SHOWN ON THE FLOOR PLAN (INCLUDING EMERGENCY LIGHTING WHEN REQUIRED), THE FOLLOWING SHALL APPLY: (1) EXIT LIGHTS SHALL BE 100 LUMENS PER FOOT OF EXIT AND DOWN LIGHTS SHALL BE SITE INSTALLED, DESIGNED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
7. IN TWO-BOMB-OVERHEAD ROOFS, GLAZING SHALL BE IMPACT RESISTANT OR PROTECTED WITH IMPACT RESISTANT OVERLAP MEETING THE REQUIREMENTS OF AN APPROVED IMPACT RESISTANT STANDARD, OR ASTM E999. TWO-BOMB-OVERHEAD ROOFS ARE DESCRIBED IN SECTION 1100 OF THE IBC.
8. FIRE SAFETY PLAN REVIEW AND INSPECTION IS REQUIRED FOR THE LOCAL AUTHORITY RECORD APPROVAL.
9. WINDOWS AND DOORS MUST BE CERTIFIED FOR COMPLIANCE WITH THE WIND DESIGN ACCORDING TO THE MANUFACTURERS STATE APPROVED BUILDING SYSTEM MANUAL.
10. STRUCTURAL DETAILS NOT INCLUDED IN THIS PLAN SET ARE TO BE CONSTRUCTED ACCORDING TO THE MANUFACTURERS STATE APPROVED BUILDING SYSTEM MANUAL.

MECHANICAL NOTES:

1. ALL SUPPLY AIR REGISTER SHALL BE 10 INCHES x 10 INCHES ADJUSTABLE WITH 10 INCHES x 20 INCHES (INSIDE) OVERHEAD FIBERGLASS DUCT, UNLESS OTHERWISE SPECIFIED. DUCTS IN UNCONDITIONED SPACES SHALL HAVE 0.5 MINIMUM INSULATION EXCEPT DUCTS EXPOSED TO VENTILATED ATTICS AND CHIMNEY SPACES SHALL HAVE R-6.5 INSULATION.
2. INTERIOR DOORS SHALL BE UNDERCUT 1.5 INCHES ABOVE FINISHED FLOOR FOR AIR RETURN AND/OR AS NOTED ON FLOOR PLAN.
3. HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES PROVIDING 5 CFM FOR EACH OCCUPANT AND 0.06 AREA-OUTDOOR RATE PER IBC SECTION 403.
4. RESTROOM VENT FANS SHALL PROVIDE 75 CFM OR MORE EXHAUST PER WATER CLOSET OR URINAL.
5. RESTROOM VENT FANS SHALL BE DUCTED DIRECTLY TO EXTERIOR OF BUILDING.

ELECTRICAL NOTES:

1. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
2. WHEN LIGHT FIXTURES ARE INSTALLED IN UNCONDITIONED SPACES THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMP. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6 INCHES FROM STORAGE AREA AS DEFINED BY NEC 110-2(B).
3. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATER SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE WATER OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
4. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM. THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-3 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
5. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
6. ALL CIRCUITS CROSSING OVER MODULE MOUNTING LINES SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS.
7. ALL RECEPTABLES INSTALLED IN WET LOCATIONS (EXTERIOR) SHALL BE IN WEATHER PROOF (WP) ENCLOSURES. THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN AN ATTACHMENT PLUG CAP IS INSERTED OR REMOVED. THE RECEPT ITSELF SHALL ALSO BE USED FOR DUMP AND WET LOCATIONS.
8. EXTERIOR LIGHTS NOT INTENDED FOR 24 HOUR USE SHALL BE CONNECTED TO A PHOTOCELL OR TIMER.

BUILDING DESIGN PARAMETERS

1. USE/OCCUPANCY: BUSINESS
2. CONSTRUCTION TYPE: VB
3. SPRINKLER SYSTEM: NO
4. BUILDING AREA: 2800 S.F.
5. BUILDING HEIGHT: ≤ 15 FEET
6. NUMBER OF STORIES: 1
7. NUMBER OF MODULES: 4
8. OCCUPANT LOAD: 21 BASED ON 100 SF/PERSON
9. EXTERIOR WALL FIRE RATING: NOT RATED
10. THIS BUILDING MUST BE INSTALLED WITH THE FIRE SEPARATION DISTANCES REQUIRED BY IBC TABLE 602 AND SECTION 705.3.
11. ENERGY CODE COMPLIANCE: SEE ATTACHED ENERGY CALCULATIONS.
12. MANUFACTURERS DATA PLATE, STATE LABELS AND 3RD PARTY LABELS ARE TO BE LOCATED ADJACENT TO ELECTRICAL PANEL.

PLUMBING NOTES:

1. TOILETS SHALL BE ELONGATED WITH NONABSORBENT FRONT SEATS.
2. REST ROOM WALLS SHALL BE COVERED WITH NONABSORBENT MATERIAL TO A MINIMUM HEIGHT OF 48 INCHES A.F.F. FLOORS SHALL HAVE SMOOTH, HARD, NONABSORBENT SURFACE THAT EXTENDS UPWARD UPON THE WALLS AT LEAST 6 INCHES.
3. THIS UNIT MUST BE CONNECTED TO A PUBLIC WATER SUPPLY AND SEWER SYSTEM IF THESE ARE AVAILABLE.
4. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUTOFF VALVES.
5. WATER HEATER SHALL HAVE SAFETY PAN WITH 1 INCH DRAIN TO EXTERIOR. TOP RELEASE VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3 FEET ON A COLD WATER SUPPLY LINE.
6. DRY SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
7. WATER SUPPLY LINES SHALL BE CUPRO, OR COPPER, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LIMITATIONS AND INSTRUCTIONS.
8. WATER CLOSET VALVE TRAP TYPE AND UNIONS ARE FLUSH TRAP TYPE UNLESS OTHERWISE SPECIFIED.
9. BUILDING DRAIN AND CLEANOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
10. SHOWERS SHALL BE CONTROLLED BY AN APPROVED MIXING VALVE WITH A MINIMUM WATER OUTLET TEMPERATURE OF 120°F (48.9°C).
11. THERMAL EXPANSION DEVICE, IF REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.
12. WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL. INSULATION WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MINIMUM.
13. PIPING IN UNCONDITIONED SPACES MUST BE PROTECTED WITH INSULATION HAVING A MINIMUM R FACTOR OF 6.5 IN ACCORDANCE WITH SECTION 2006.
14. THE USE OF THIS BUILDING WITHOUT THE MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES IS SUBJECT TO APPROVAL BY THE AUTHORITY HAVING JURISDICTION.
15. THE WATER HEATER SHALL HAVE CONTROLS TO ALLOW A SET POINT OF 30 DEGREES F. THE OUTLET TEMPERATURE OF LAVATORIES SHALL BE LIMITED TO 110 DEGREES F.
16. WATER HEATER SHALL BE PLUMBING WITH HEAT TRAPS ON THE SUPPLY AND DISCHARGE PIPING CONNECTED TO THE HEATER.
17. HOT WATER PIPING FROM THE WATER HEATER SHALL BE INSULATED WITH 0.5 INCH OF MATERIAL HAVING A CONDUCTIVITY NOT EXCEEDING 0.27 BTU PER INCH / H / S / F.
18. TEMPERATURE WATER MUST BE DELIVERED THROUGH AN APPROVED WATER TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070 OR CSA 9125.1.

STRUCTURAL LOAD LIMITATIONS

BUILDING OCCUPANCY CATEGORY: II

FLOOR LIVE LOAD:
A. 50 PSF
B. 2000 LB. CONCENTRATED LOAD OVER 30 INCH x 30 INCH AREA LOCATED ANYWHERE ON FLOOR

ROOF LIVE LOAD:
A. 20 PSF

ROOF SNOW LOAD:
A. Pp = 20 PSF GROUND SNOW LOAD
B. Pf = 20 PSF FLAT ROOF SNOW LOAD
C. Cs = 1.1 SNOW EXPOSURE FACTOR
D. Is = 1.0 SNOW IMPORTANCE FACTOR
E. Wt = 1.0 SNOW THERMAL FACTOR

WIND LOAD:
A. 140 WIND SPEED
B. Iw = 1.0 WIND IMPORTANCE FACTOR
C. Cs = 2.0 WIND EXPOSURE CATEGORY
D. GcPf = 0.18 INTERNAL PRESSURE COEFFICIENT
E. Pr: Zone 1: 40.2 PSF Pw: Zone 4: 44.4 PSF
Zone 2: 64.0 PSF Zone 3: 53.2 PSF
Zone 5: 107.7 PSF
F. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

SEISMIC LOAD:
A. Ie = 1.0 SEISMIC IMPORTANCE FACTOR
B. Ss = 0.5 SITE CLASS
C. At13 SEISMIC FORCE RESISTING SYSTEM
D. 0 SEISMIC DESIGN CATEGORY
E. EQUIVALENT LATERAL FORCE ANALYSIS PROCEDURE
F. Ss = 0.537 MAPPED SPECTRAL RESPONSE COEFF.
G. Si = 1.258 MAPPED SPECTRAL RESPONSE COEFF.
H. Sds = 0.49 SPECTRAL RESPONSE COEFFICIENT
I. Sdi = 0.19 SPECTRAL RESPONSE COEFFICIENT
J. R = 2922 LB DESIGN BASE SHEAR
K. Ie = 1.0 SEISMIC MODIFICATION COEFFICIENT
L. Cs = 0.08 SEISMIC RESPONSE COEFFICIENT

FLOOD LOAD:
THE MODULAR BUILDING UNITS ARE NOT DESIGNED TO BE SUBMERGED OR SUBJECTED TO WAVE ACTION. IF INSTALLED IN A FLOOD PLAIN, THE MINIMUM BUILDING UNITS MUST BE BUILT FROM APPROPRIATE FLOOD ELEVATION MAPS FOR FLOOD LOADS.

ATTENTION LOCAL INSPECTIONS DEPARTMENT

- SITE INSTALLED ITEMS**
- THE FOLLOWING ITEMS HAVE NOT BEEN COMPLETED BY THE MANUFACTURER, HAVE NOT BEEN INSPECTED BY 3rd PARTY AND ARE NOT CERTIFIED BY THE STATE MODULAR LABEL. NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIAL THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL. CODE COMPLIANCE MUST BE DETERMINED AT THE LOCAL LEVEL.
1. THE COMPLETE FOUNDATION SUPPORT AND THE DRAIN SYSTEM.
 2. RAMP, STAIRS AND GENERAL ACCESS TO THE BUILDING.
 3. PORTABLE FIRE EXTINGUISHERS.
 4. DRINKING FOUNTAIN OR BOTTLED WATER, BUILDING DRAIN, CLEANOUTS, SERVICE SINK AND HOOD-UP TO PLUMBING SYSTEM.
 5. ELECTRICAL SERVICE HOOD-UP (INCLUDING FEEDERS) TO THE BUILDING.
 6. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS.
 7. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MOUNTING LINES - (MULTI-UNITS ONLY).
 8. STRUCTURAL AND ACCELERATED INTERFERENCES BETWEEN MODULES (MULTI-UNITS ONLY).
 9. EXIT DISCHARGE LIGHTING (INCLUDING EMERGENCY) TO WINDOW AND DOOR HOPE WHO STORM COVERS (PER CODE).
 10. REFER TO GENERAL NOTES 3, 8 & 10.
 11. OCCUPANT LIGHTING.

140 MPH FASTENING FOR FABRAL GRAND RIB 3,
#10-14x1-1/2" HWH SCREW w/BONDING WASHER OR EQ.
(4) ROWS 36" MAXIMUM SPACING. SPACED @ 4.5" O.C.

WINDOW & DOOR SPECIFICATIONS

1. DBL PANE WINDOWS ARE REQUIRED FOR ALL CLIMATE ZONES. SEE THE COMCHECK ENERGY CALCULATIONS FOR THE MAXIMUM ALLOWED U-FACTOR AND SHGC.
2. THE MAXIMUM ALLOWABLE AIR LEAKAGE RATE FOR WINDOWS IS 0.3 CFM PER SQUARE FEET OF WINDOW AREA.
3. THE MAXIMUM ALLOWABLE AIR LEAKAGE RATE FOR EXTERIOR DOORS IS 0.5 CFM PER SQUARE FEET OF DOOR AREA.

SPECIAL CONDITIONS AND / OR LIMITATIONS:

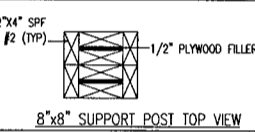
1. THE BUILDING DESIGN HAS BEEN APPROVED FOR USE ONLY IN THOSE AREAS WITHIN THE SCOPE OF THE STRUCTURAL LOAD LIMITATIONS AND CLIMATE DESIGN CRITERIA INDICATED BELOW.
2. SEE THE BUILDING SITE INSTALLATION REQUIREMENTS FOR MORE WORKING REQUIREMENTS ON SITE INSTALLATION.
3. THE MINIMUM DESIGN EXTERIOR SHALL BE PROVIDED IN ADDITION TO THE MINIMUM DESIGN ON THE INSTALLATION SITE. ALL MATERIALS SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE CONTRACT DOCUMENTS AND SHALL BE ACCESSIBLE TO THE OPERATIONS OF THE INDUSTRIAL BLDG.
4. DRINKING WATER FACILITIES TO BE PROVIDED AND INSTALLED ON SITE BY OTHERS.
5. VENTILATION OF THE RAFTER OR ATIC SPACE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING OFFICIAL.

EXT. DOOR SPECIFICATIONS:

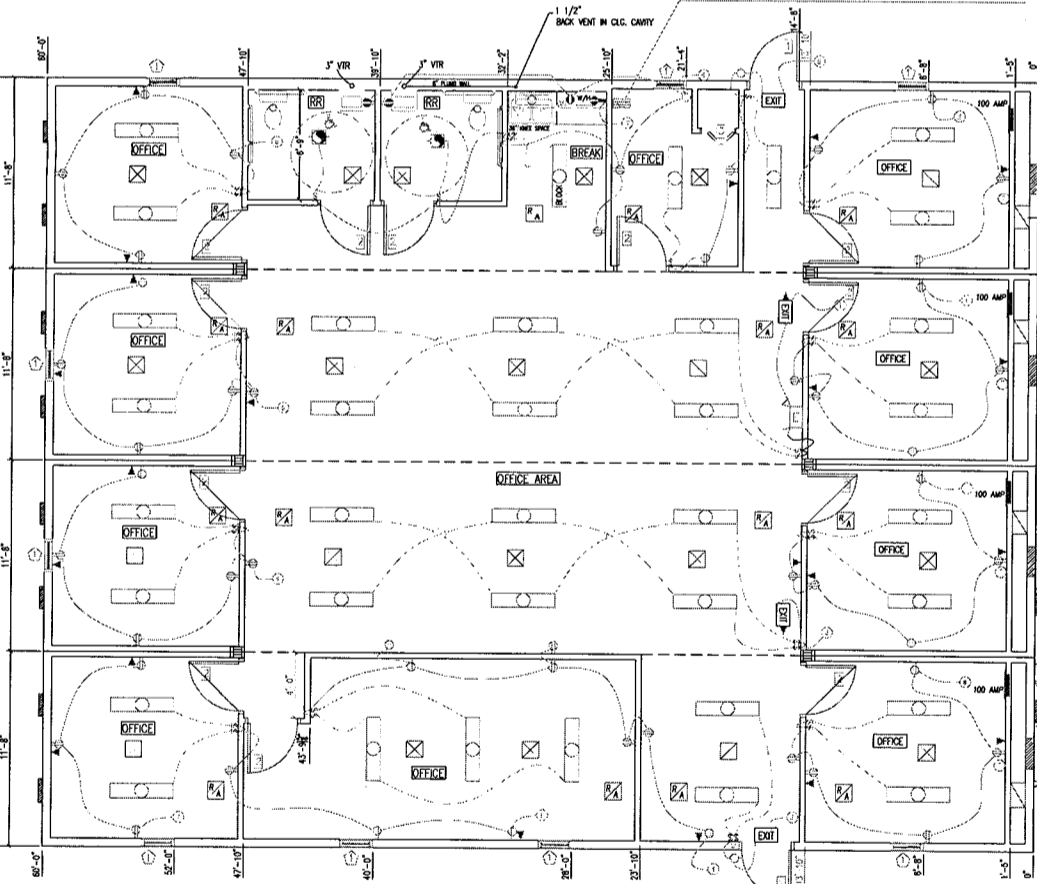
1. ALUM. W/ WEIR BLOCK.
2. ALUM. WITH FOAM CORE
3. Uo = 0.32
4. ALLOWABLE AIR LEAKAGE RATES 0.5 CFM PER SQ. FT. OF DOOR AREA

WINDOW SPECIFICATIONS:

1. VINYL FRAME w/THERMAL BREAK
2. OPERABLE
3. DOUBLE PANE LOW-E/TINT
4. Ug = 0.30
5. SHGC = 0.30
6. ALLOWABLE AIR LEAKAGE RATES 0.1 CFM PER SQ. FT. OF WIN. AREA



FRAME & FLOOR	WALLS, WINDOWS, DOORS	ELECTRICAL	PLUMBING	ROOF	EXTERIOR	A/C & HEAT
2x10 GA. BEAM	1 1/2\"/>					



ELECTRICAL SCHEDULE A

CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE (CU.)
1	GFI PROTECT RECEPT	20 A	12-2 NM
2/4	HVAC	60A(2P)	#10 GND
3, 5, 8	LIGHTS, RECEPTS	20 A	12-2 NM
6	LIGHTS FAN RECEPT	20 A	12-2 NM
7	WATER HEATER	20 A	12-2 NM

ELECTRICAL PANEL SIZING A

DESCRIPTION: GENERAL LIGHTING, 0.035 KW/SF x 700 SF x 1.25 = 3.06; 12 RECEPTS AT 180VA/1000 = 3.06; WATER HEATER 1.9 KW x 1.25 = 2.38; HVAC 1.8 KW x 1.25 = 2.25; TOTAL 10.75 KW; INSTALL 100 AMP PANEL 120/240 V 1ϕ

ELECTRICAL SCHEDULE B

CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE (CU.)
1, 3, 5, 8	LIGHTS, RECEPTS	20 A	12-2 NM
2/4	HVAC	60A(2P)	#10 GND

ELECTRICAL PANEL SIZING B

DESCRIPTION: GENERAL LIGHTING, 0.035 KW/SF x 700 SF x 1.25 = 3.06; 12 RECEPTS AT 180VA/1000 = 3.06; HVAC 1.8 KW x 1.25 = 2.25; TOTAL 8.37 KW; INSTALL 100 AMP PANEL 120/240 V 1ϕ

ELECTRICAL SCHEDULE C

CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE (CU.)
1, 3, 5, 8	LIGHTS, RECEPTS	20 A	12-2 NM
2/4	HVAC	60A(2P)	#10 GND

ELECTRICAL PANEL SIZING C

DESCRIPTION: GENERAL LIGHTING, 0.035 KW/SF x 700 SF x 1.25 = 3.06; 12 RECEPTS AT 180VA/1000 = 3.06; HVAC 1.8 KW x 1.25 = 2.25; TOTAL 8.37 KW; INSTALL 100 AMP PANEL 120/240 V 1ϕ

ELECTRICAL SCHEDULE D

CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE (CU.)
1	GFI PROTECT RECEPT	20 A	12-2 NM
2/4	HVAC	60A(2P)	#10 GND
3, 5, 6, 7, 8	LIGHTS, RECEPTS	20 A	12-2 NM

ELECTRICAL PANEL SIZING D

DESCRIPTION: GENERAL LIGHTING, 0.035 KW/SF x 700 SF x 1.25 = 3.06; 12 RECEPTS AT 180VA/1000 = 3.06; HVAC 1.8 KW x 1.25 = 2.25; TOTAL 12.02 KW; INSTALL 100 AMP PANEL 120/240 V 1ϕ

ELECTRICAL SCHEDULE E

CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE (CU.)
1	GFI PROTECT RECEPT	20 A	12-2 NM
2/4	HVAC	60A(2P)	#10 GND
3, 5, 6, 7, 8	LIGHTS, RECEPTS	20 A	12-2 NM

ELECTRICAL PANEL SIZING E

DESCRIPTION: GENERAL LIGHTING, 0.035 KW/SF x 700 SF x 1.25 = 3.06; 12 RECEPTS AT 180VA/1000 = 3.06; HVAC 1.8 KW x 1.25 = 2.25; TOTAL 12.02 KW; INSTALL 100 AMP PANEL 120/240 V 1ϕ

ELECTRICAL DISTRIBUTION PANEL

- 110V EXT. W.P. GFI RECEPT (WHILE IN USE)
- DUPLX RECEPTACLE 120V
- QUAD RECEPTACLE 120V
- SQL RECEPTACLE 220V
- 110V EXT. W.P. HEAT TAPE RECEPT
- J-BOX w/CONDUIT STUD FOR PHONE/DATA
- SWITCH, 3-WAY, OCCUPANCY SENSOR, DIMMER
- FLOURESCENT FIXTURE w/2 SUPER 18 25W TUBES (48W INPUT WATTAGE)
- FLOURESCENT FIXTURE w/1-1 1/2" SPIRAL (14W INPUT WATTAGE)
- EXHAUST FAN
- COMBO EXHAUST FAN/LIGHT
- 100 CFM EXHAUST FAN/13W LIGHT (14W INPUT WATTAGE)
- THERMOSTAT
- EXIT SIGN W/BATT. BACK-UP
- DIRECTIONAL EXIT SIGN W/BATT. BACK-UP
- COMBO EXIT SIGN/DUAL HEAD EMERG. LIGHT W/BATT. BACK-UP
- DUAL HEAD EMERG. LIGHT W/BATT. BACK-UP

DOOR SCHEDULE

#	SIZE	MATERIAL	DESCRIPTION	HARDWARE
1	36" x 80"	ALUM.	ALUM. w/4" x 2" V.B.	LEVER
2	36" x 80"	PLASTIC	6 PANE. -DULLOW CORE	LEVER
3	36" x 80"	WOOD	WOOD 6-TOLD (OPT.)	KNDS

WINDOW SCHEDULE

#	SIZE	DESCRIPTION	FRAME/GLASS
1	24" x 50"	VERTICAL SLIDE	W.V. W-1 LOW-E IAT

NOTE: ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS B OR BETTER IN CORRIDORS, AND CLASS C OR BETTER IN ROOMS AND ENCLOSED SPACES; CARPET SHALL BE CLASS II OR BETTER.

TABLE OF CONTENTS

PAGE: 1 OF 2

DATE: MAY 06, 2015

PROJECT: STECK FLOOR PLAN

DRAWN BY: JRS

SCALE: 1/8" = 1'-0"

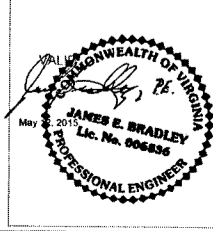
SHEET #: 1 OF 2

LOCATION:

CODE SUMMARY:

STATE	BUILDING	ELECTRICAL	MECHANICAL	PLUMBING	ACCESSIBILITY	ENERGY CODE
VIRGINIA	2009 V.A. UNIFORM STATEWIDE BLDG. CO. 2009 IFC	2008 NEC	2009 IMC	2009 IPC	ICC/ANSI 117.1-03 VA. ACCESSIBILITY 2003	2009 IECC

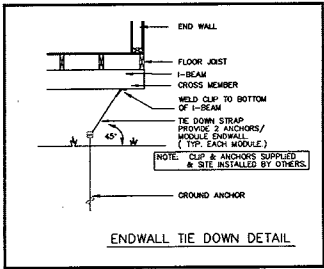
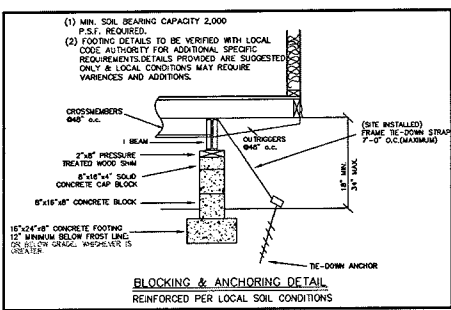
JAMES BRADLEY, P.E.
CONSULTING ENGINEER
1765 CARNegie AVENUE
CLEARWATER, FL. 33756



EMC APPROVED
05 12 2015

TRCustom INCORPORATED
P.O. Box 1079 892 N. Broad St.
Ellaville, GA 31806 (229) 937-2581
www.trcustominc.com

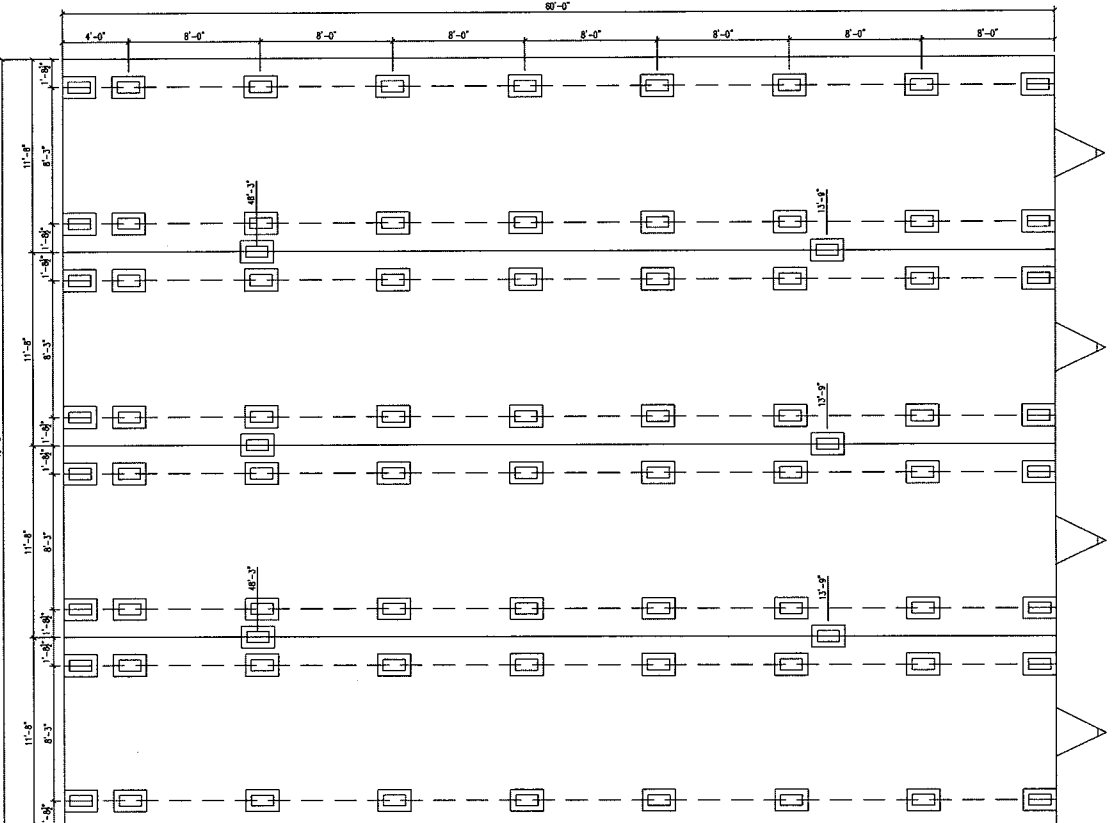
SUBMITTAL # 190 4260 VA SIFGCA
DATE: MAY 06, 2015
SHEET: STECK FLOOR PLAN
DRAWN BY: JRS
SCALE: 1/8" = 1'-0"
SHEET #: 1 OF 2
LOCATION:



FOUNDATION NOTES:

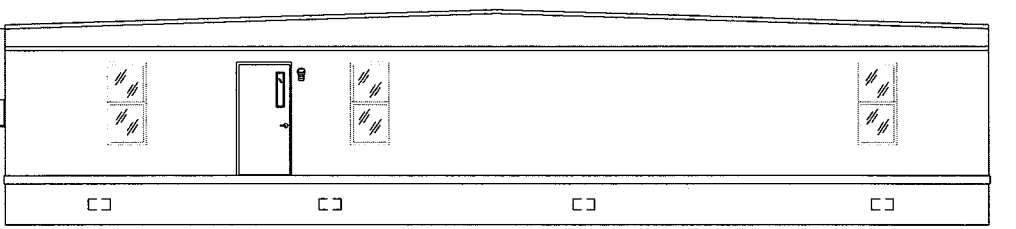
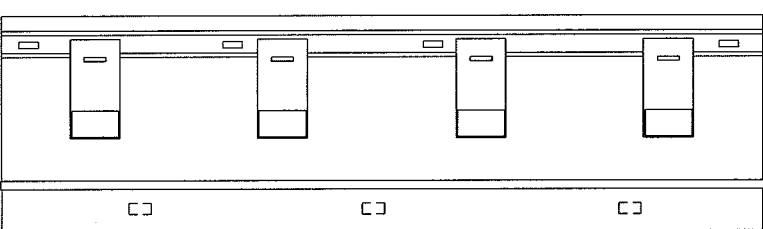
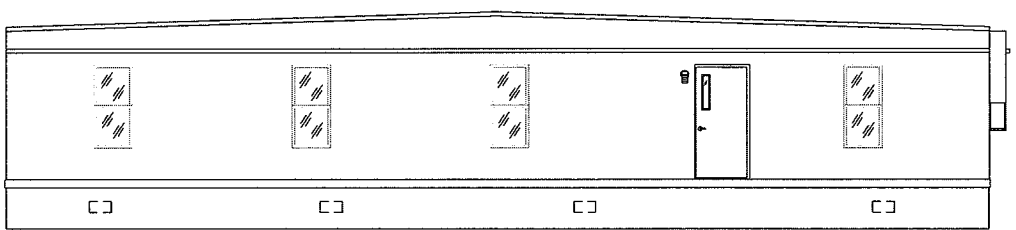
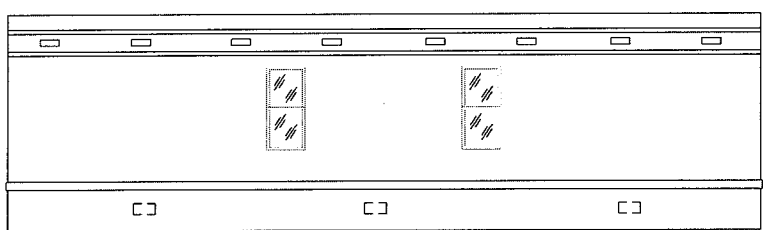
1. ALL FOUNDATION CONSTRUCTION MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
2. TIE-DOWN STRAPS TO BE 1-1/2\"/>

WALL LOAD	8'x8'x11psf	= 704#
FLOOR LOAD	5.83'x8'x50+10psf	= 2,795#
ROOF LOAD	5.83'x8'x(20+15psf)	= 1,833#
TOTAL LOAD		= 5,135#
AREA FTG. REQUIRES	5,135 / 2,000psf	= 2.5 sq.ft.
AREA	24x24 / 144	= 4.0 sq.ft.

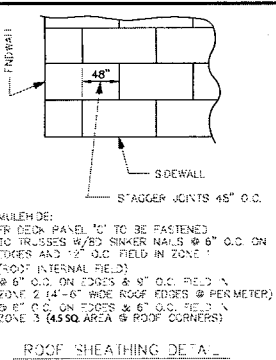


FOUNDATION, PIER BLOCKING, FOOTING, AND ANCHORING DETAILS SHOWN ON THESE PAGES ARE TO BE USED AS A REFERENCE SOURCE ONLY. IT WILL BE THE OWNERS RESPONSIBILITY TO CHECK WITH THE LOCAL CODE AUTHORITY TO VERIFY SPECIFIC REQUIREMENTS AFFECTING THE INSTALLATION, SETUP, AND UTILITY CONNECTION TO THIS BUILDING. T&R CUSTOM ASSUMES NO RESPONSIBILITY FOR LOCAL, COUNTY, AND MUNICIPAL CODE REQUIREMENTS FOR THIS STRUCTURE.

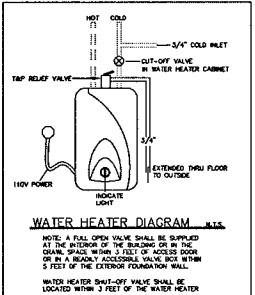
ALTERNATE FOUNDATION PLAN MAY BE DESIGNED BY OTHERS
Add a pier directly under each side of exterior doors to prevent misalignment and dragging.



ELEVATIONS 3/16\"/>

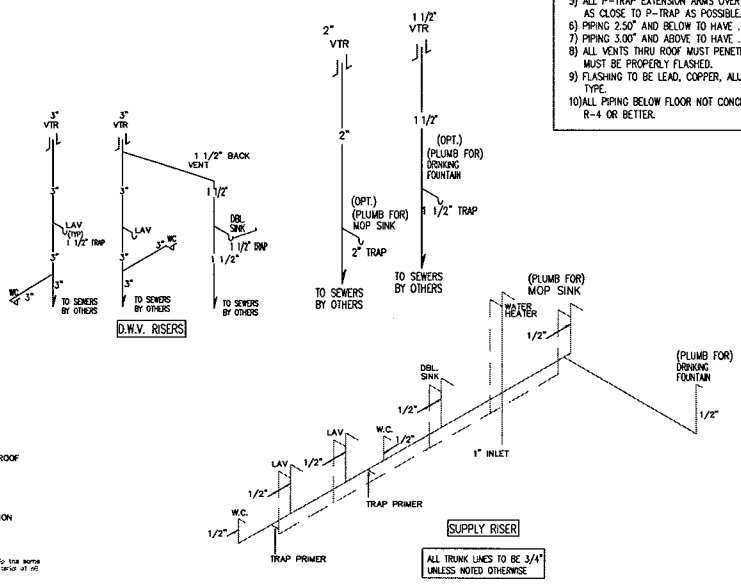
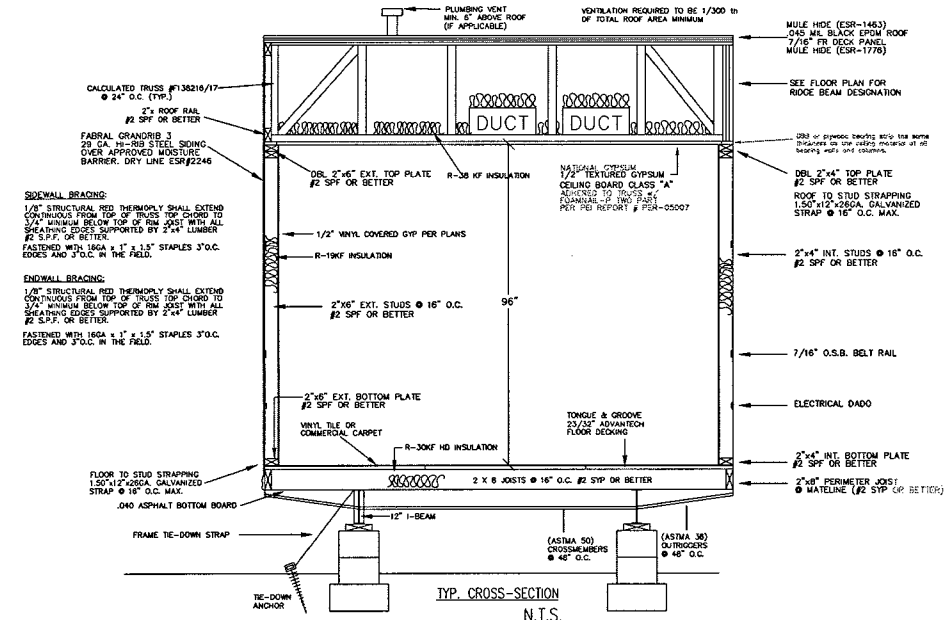


- (1) SKIRT, SKIRT VENTILATION, & ACCESS TO BE PROVIDED & INSTALLED BY OWNER ON SITE.
- (2) ALL GLASS IN DOORS & WITHIN 24\"/>



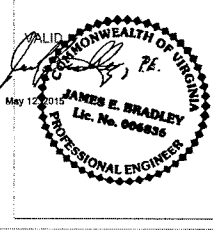
- SUPPLY LINE NOTES**
- 1) ALL SUPPLY LINES TO BE CPVC EXCEPT WHERE NOTED OTHERWISE.
 - 2) ALL JOINTS TO BE BY MANUFACTURER APPROVED METHODS.
 - 3) ALL FITTINGS TO BE PLASTIC, CHROME, BRASS, OR OTHER APPROVED MATERIAL.
 - 4) ALL SUPPLY LINES TO HAVE APPROVED SHUTOFF VALVES.
 - 5) LINES TO BE SUPPORTED VERTICALLY MAXIMUM 48\"/>
- DRY NOTES**
- 1) PIPING SHALL BE PVC SCHEDULE 40
 - 2) ALL JOINTS SHALL BE MADE WITH FITTING EITHER SOLVENT WELDED OR THREADED ACCORDING TO APPROVED METHODS.
 - 3) VERTICAL PIPING SHALL BE SUPPORTED AT BASE, MIDDLE, AND TOP.
 - 4) HORIZONTAL PIPING SHALL BE SUPPORTED MINIMUM 48\"/>

- VERSA-LAM BEAM CONSTRUCTION**
- 1 LAYER(S) 1/2\"/>



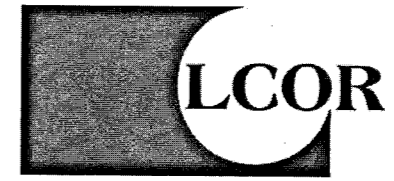
JAMES BRADLEY, P.E.
CONSULTING ENGINEER
1785 CARNEGIE AVENUE
CLEARWATER, FL 33756

APPROVED
05 12 2015

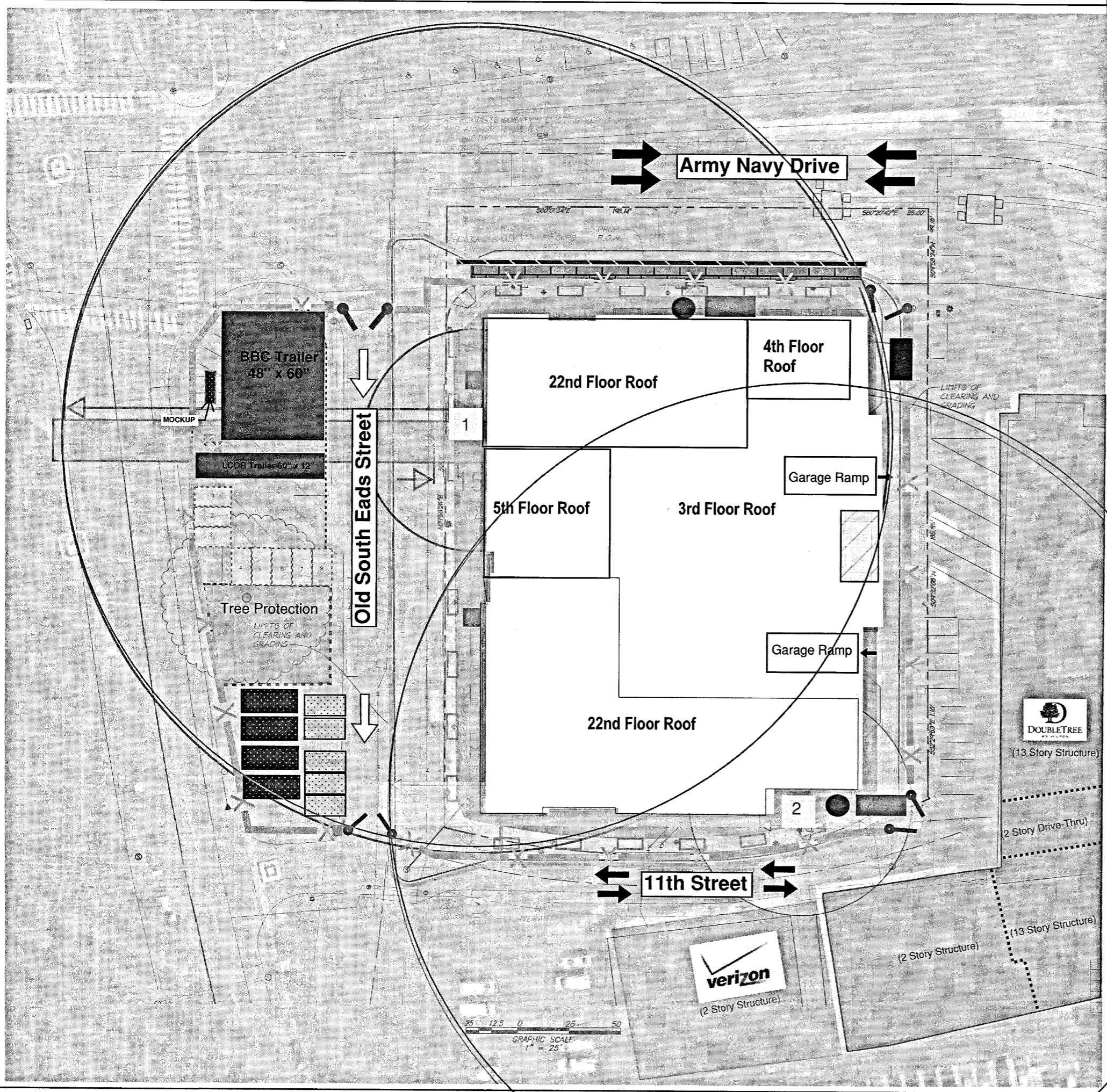


I&R Custom INCORPORATED
P.O. Box 1079 892 N. Broad St.
Ellaville, GA 31806 (229) 937-2581
www.truustominc.com

SUBMITTAL # ITC 4800 VA STOCK
43'x60' BUSINESS OCCUPANCY
DATE: MAY 08, 2015
STOCK FLOOR PLAN
DRAWN BY: DRS
SCALE: 1/8\"/>



Balfour Beatty
Construction



-LEGEND-

①	Site Office Trailer	
②	Site Security Fence	
③	Site Entrances/Gates	
④	Temporary Power Shed	
⑤	Storage Sea Can	
⑥	Sub Job Trailer	
⑦	Dumpster	
⑧	Tower Cranes (Final Location TBD)	
⑨	Trash Chute	
⑩	Electrical Vault	
⑪	Man Door	
⑫	Existing Asphalt	
⑬	Hoist	
⑭	Below Grade Garage Demolition	
⑮	Existing Building Demolition	
⑯	Covered walkway	
⑰	Jersey Barrier	

THE ALTAIRE
-Construction Logistics Plan-

Photos of Teardrop Parcel of Land



Existing Conditions vs. Proposed Improvements

Existing

1. Grass
2. Sidewalks
3. Tree
4. Asphalt

Proposed

1. Construction Management Office Trailer
2. Connections to water and sanitary sewer
3. Miscellaneous storage
4. Construction fencing
5. Parking

1. Enact the attached Ordinance to Vacate: 1) a ten foot Storm Sewer Easement running northeast to southwest on Parcel B-3, Scott Terrace, RPC #32-001-049; 2) a portion of a five foot Sanitary Sewer Easement running east to west across the northern portion and continuing north to south along the western boundary of Parcel B-3, Scott Terrace, RPC #32-001-049; 3) a twenty foot Storm and Sanitary Sewer Easement running east to west through the southern portion of Parcel B-3, Scott Terrace; 4) a portion of a ten foot Storm Sewer Easement running east to west within the northern portion of Parcel B-1, Scott Terrace, RPC #32-001-048; 5) a portion of a five foot Sanitary Sewer Easement running east to west on the southern portion of Parcel A-1, Scott Terrace, RPC #32-001-046; and 6) a portion of a five foot Sanitary Sewer Easement running east to west within the northern portion of Parcel A-1, Scott Terrace, RPC #32-001-046, with conditions ("Ordinance").
2. Authorize the Real Estate Bureau Chief, Department of Environmental Services, or his designee, to execute and/or accept, on behalf of the County Board, the Deed(s) of Vacation, and all other documents necessary to effectuate the Ordinance, subject to approval as to form by the County Attorney.

With a language amendment, adding condition #59 to the adopted revised Form Base Code conditions to read as follows:

59. The developer agrees to remove the access gates on Columbia Pike and South Scott Street prior to the issuance of the first partial certificate of occupancy for the final residential building. Additionally, the developer agrees to not install any access gates that may impede access through the site.

The motion was adopted and carried by a vote of 5 to 0, the voting recorded as follows: LIBBY GARVEY, Chair - Aye, JAY FISETTE, Vice Chair - Aye, KATIE CRISTOL, Member - Aye, CHRISTIAN DORSEY, Member - Aye, JOHN VIHSTADT, Member - Aye.

Board Report #61 A. (Posted 07-13-2016)

Board Report #61 A. (Supplemental Report-Posted 07-19-2016)

Board Report # 61 B. (Posted 07-13-2016)

Addendum-07-20-16-A-FORM BASE CODE WITH REVISED CON #10, #18, #22, #30, AND ADDED #59

Addendum-07-20-16-A1-ORDINANCE TO VACATE-ATTACHMENT 1

Addendum-07-20-16-A2-VACATE- EXHIBIT A - PLAT

ooooo0oooo

62. TEARDROP PARCEL

- A. SP2-U-16-1 Use Permit for temporary contractor construction storage, staging, and parking located at the County owned "Teardrop Parcel" property to facilitate the construction of the approved 400 Army Navy Drive site plan project (SP #2); (RPC# 35-003-437).

- B. License agreement between Arlington County Board and Arlington Apartments L/CAL LLC for use of a portion of County Parcel, Parcel F, Pentagon Industrial Center, RPC #35-003-437, for construction office/staging purposes related to construction of SP #2.

Following a duly advertised public hearing, a motion was made by JAY FISETTE, Vice Chair seconded by KATIE CRISTOL, Member to adopt the following ordinance:

BE IT ORDAINED that, pursuant to the application SP2-U-16-1 on file in the office of the Zoning Administrator for the use permit associated with the site plan, for the temporary contractor construction storage, staging, and parking located at the County owned "Teardrop Parcel" property to facilitate the construction of the approved 400 Army Navy Drive site plan project (SP #2); (RPC# 35-003-437), approval is granted and the parcel so described shall be used according to the approval requested by the application subject to the proposed conditions of the staff report (Conditions #1-4) as amended within the July 14, 2016 supplemental report and with a three (3) year County Board review (July 2019).

1. Approved the attached License Agreement between Arlington County Board and Arlington Apartments L/CAL LLC for use of a portion of a County Parcel (RPC# 35-003-437) for Construction Office/Staging Purposes Related to Construction of SP #2 ("License Agreement"); and
2. Authorized the Real Estate Bureau Chief, Department of Environmental Services, or his designee, to execute on behalf of the County Board, the License Agreement and all related documents, subject to approval as to form by the County Attorney.

The motion was adopted and carried by a vote of 5 to 0, the voting recorded as follows: LIBBY GARVEY, Chair - Aye, JAY FISETTE, Vice Chair - Aye, KATIE CRISTOL, Member - Aye, CHRISTIAN DORSEY, Member - Aye, JOHN VIHSTADT, Member - Aye.

Proposed Conditions (with revisions to Conditions #1 and #2):

1. The applicant agrees that the Off-site Contractors' Storage and Staging Yard, approved at the July ~~19~~ 16, 2016 County Board meeting, shall be only associated with the construction of the adjacent site plan project (SP #2, 400 Army Navy Drive). The storage and staging area shall be in the area delineated in "The Altaire - Construction Logistics Plan" (the exact location of all requested construction trailers and storage containers may vary within the approved area).
2. The applicant agrees to comply with the conditions set forth in the License Agreement "[the Agreement]" between the County Board of Arlington County, Virginia and Arlington Apartments L/CAL, LLC for the purposes of using the "Teardrop Parcel" property (located at RPC# 35-003-437 adjacent to 400 Army Navy Drive), reviewed and approved by the County Board of Arlington County, Virginia on July ~~19~~ 16, 2016, for the life of the use permit. Any amendments to the Agreement shall require an amendment to this use permit.
3. The applicant agrees to ensure that Off-site Contractors' Storage and Staging Yard located within the "Teardrop Parcel" adjacent to the 400 Army Navy Drive site plan project (SP #2) complies with all requirements set forth in all applicable ordinances and regulations, including, by way of illustration and not limitation, those administered by the Inspection Services Division, the Zoning Office and the Fire Marshal's Office.
4. The applicant agrees to designate a neighborhood liaison to communicate with nearby residents and neighbors to address concerns which may be related to the temporary construction staging, storage, and parking use and an onsite liaison that shall be available during construction hours to receive and respond to community concerns regarding this use. The proposed neighborhood and onsite

liaison may be the same person. The name, telephone number, and electronic mail address of the designee(s) shall be submitted to the Zoning Administrator and a copy sent to the Crystal City Civic Association, the Aurora Highlands Civic Association, the Arlington Ridge Civic Association, and the Crystal City Business Improvement District (BID) prior to commencing this use.

Board Report #62 A. (Posted 07-13-2016)

Board Report #62 B. (Posted 07-13-2016)

Addendum-07-20-16-B- LICENSE AGREEMENT -REVISED and EXHIBIT B

Addendum07-20-16-B1- EXHIBIT C TO LICENSE

Addendum-07-20-16-B2-The Ataire Construction logistics plan

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ADDITIONAL ITEMS

Without objection, at 7:51 p.m., the Board adjourned.

LIBBY GARVEY, Chair

ATTEST:

HOPE L. HALLECK, Clerk
Approved:



SITE PLAN APPLICATION

DANIEL MEEHAN

Permit #: ZADM160663

CPHD Case #: sp #02

08/29/2016

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND ZONING DIVISION

2100 CLARENDON BOULEVARD SUITE #1000
ARLINGTON, VIRGINIA 22201
(703) 228-3883 • Fax (703) 228-3896



RECEIVED
AUG 29 2016
Mm

In accordance with the requirements of Administrative Regulation 4.1, Site Plan Approval Procedure, the following plan is submitted for administrative review and transmittal to the County Board for its consideration.

Original Plan []

Amendment [X]

Case Number Site Plan #02 Date: August 29, 2016

Address: 400 Army Navy Drive, Arlington, VA 22202

Requested Use: We request an extension of the outdoor construction work hours until 9:00 pm from 11/01/16 through 11/30/17 for concrete activities. Pouring, setting, and finishing concrete work at times require additional time to finish due to the nature of the material, and once a concrete pour begins it must be completed, and cannot be halted and later resumed. Therefore, we request an approval to extend the work hours listed under Site Plan Condition #13.A.5 to allow for completion of these activities

Drawings submitted [] Yes [X] No

Print Name Of Owner Arlington Apartments L/Cal LLC Owner's signature [Signature] (REQUIRED)

Mailing Address: 2 Bethesda Metro Center, Suite 800

City Bethesda State MD Zip 20814 Phone 301-897-0002

By: Print name Harmar Thompson (X) agent () attorney, Signature [Signature]

Mailing Address: 2 Bethesda Metro Center, Suite 800

City Bethesda State MD Zip 20814 Phone 301-897-0002

(Office Use Only)

Date:

This application is scheduled for the County Board meeting of

Zone C-0 Receipt No. R/16013808 Fee 3683-95 Date Paid 8/29/16

Received by [Signature]

Make checks payable to: Treasurer of Arlington County

(READ INFORMATION AND INSTRUCTIONS CAREFULLY)

**ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND DEVELOPMENT
ZONING DIVISION
2100 CLARENDON BOULEVARD SUITE #1000
ARLINGTON, VIRGINIA 22201
(703) 228-3883 • Fax (703) 228-3896**

Disclosure Statement

TYPE OR PRINT IN INK

Case No. Site Plan #02

Complete the following:

1. Description of the real estate affected

List the addresses of all property that is affected by the application. Provide the lot, block, section, and sub-division of all parcels **only** if the properties have not been subdivided.

Address(es) 400 Army Navy Drive; Arlington, VA 22202 (RPC #35002001)

Lot(s) _____ Block _____

Section _____ Subdivision _____

2. Is the owner of said real estate, a corporation whose stock is traded on a national or local stock exchange and having more than five hundred (500) shareholders?

YES

NO

If "Yes," give the name of the corporation and skip to item 4

3. List the names, addresses, and nature of interest of **ALL** persons having equitable ownership of the real estate to be affected, including, in the case of corporate ownership, the names of stockholders, officers, and directors; and of **ALL** parties in interest.

<u>PARCEL ADDRESS</u>	<u>NAME</u>	<u>ADDRESS</u>	<u>NATURE OF INTEREST</u>
400 Army Navy Drive	Arlington Apartments L/Cal LLC	2 Bethesda Metro Center Suite 800 Bethesda, MD 20814	Owner

4. I hereby certify that this is a true and accurate disclosure of all persons having equitable ownership real estate to be affected and of all the parties in interest.

Applicant's signature _____

2 Bethesda Metro Center, Suite 800

Applicant's address Bethesda, MD 20814

STATE OF Maryland VIRGINIA, COUNTY OF Montgomery TO WIT: _____

Subscribed and sworn before me this _____ day of _____ 2016



Notary _____

My commission expires 3/19/17



ROBERT BROSNAN
DIRECTOR

ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND
DEVELOPMENT
ZONING DIVISION
2100 CLARENDON BOULEVARD SUITE #1000
ARLINGTON, VIRGINIA 22201
(703) 228-3883 • Fax (703) 228-3896



NORMA J. COZART
ZONING ADMINISTRATOR

TO: APPLICANTS FOR PUBLIC HEARING CASES

SUBJECT: Disclosure Statement for Public Hearings of County Board
Planning Commission and Board of Zoning Appeals

As an applicant for a case that will be considered by the County Board or the Board of Zoning Appeals (Rezoning, Site Plan Approvals and Amendments, Use Permits and Amendments, and Variances), you are required to file a complete disclosure of the equitable ownership and parties interest of the real estate that is the subject of the application. This requirement is contained in §15.1.3 of the Arlington County Zoning Ordinance and Title 15.2 of the Code of Virginia. The purpose of the Disclosure Statement is to document the ownership interests of the property or properties that are the subject of the application. The following information is provided to assist you in preparing an accurate and complete Disclosure Statement which will help avoid otherwise unnecessary deferrals of the public hearing date for which you have filed your application.

A complete Disclosure Statement must be filed with your application by the FINAL FILING DEADLINE for you application to be complete and therefore accepted for processing. The Statement must be notarized. (*It does not have to be notarized in Virginia.*) It is very important that you review your Disclosure Statement for accuracy and completeness before you file it with the County. As with all application information, the Disclosure Statement is available to the public for review.

Particular attention should be paid to the following elements of your statement:

- > Partnership information must list all General and Limited Partners and be broken down successively until ONLY INDIVIDUAL PERSONS are listed.
- > Corporate information and all stockholders (except those that are traded on a national or local stock exchange and have more than 500 shareholders) must list the names of officers and directors of the corporation. For Corporations that are not traded on a national or local stock exchange, stockholders must be identified as well.
- > Whenever a trust is listed, the beneficiaries must be identified.
- > Addresses of partnerships, corporations, trusts, etc. must include the street address or post office box number, city, state, and zip code. Telephone numbers are not required.
- > Identification of the interest of the persons and firms listed. This should identify the nature of the interest (i.e. Owner, contract owner, lessee, general or limited partner, beneficiary, mortgage holder, etc.). The percent of interest is not required.

August 26, 2016

Ms. Arvola Vohm
Zoning Administrator
ARLINGTON COUNTY
2100 Clarendon Boulevard
Arlington, VA 22201

Re: Site Plan Amendment Site Plan #02, 400 Army Navy Drive (RPC # 35002001) Statement of Justification

Dear Ms. Vohnm

On Behalf of Balfour Beatty Construction, please allow this letter to serve as written justification for a Site Plan Amendment to extend the permitted construction hours for the Project.

The County Board approved the site plan for the Project in Site Plan #2, 400 Army Navy Drive (the "Site Plan") and Condition 13.5 of the Site Plan (included in Exhibit A attached hereto) relates to the hours of construction. This condition permits outdoor construction activity between 7:00a.m. and 6:30 p.m. on weekdays, and 10:00a.m. and 6:30 p.m. on weekends and holidays. We request the work hours be extended until 9:00 p.m. during concrete operations described below.

The Applicant is in the process of constructing the approved building at the project, and will enter a phase of construction that involves concrete pouring, setting, and finishing. These tasks frequently require extended hours of work, because once a particular concrete pour begins it must be completed, and cannot be halted and later resumed. Accordingly, the Applicant requests permission to extend its work hours until 9:00p.m. for the period from November 1, 2016 to November 30, 2017. This period represents the approximate time required for concrete pouring activities at the site.

Along with this request, the Applicant guarantees to minimize the impact to surrounding residences by abiding by all applicable noise ordinances. The possibility of disturbance to residences is further reduced by the fact that there are no residences directly adjacent to the Project – to the north is Army Navy Drive, to the West is the "Teardrop" parking lot and South Eads Street, and to the south is the often unoccupied Verizon substation. Similarly, the Metropolitan Park Phase II, IV and V developments, which are adjacent to occupied residential buildings, has been granted similar extension of construction hours without any negative impact to the surrounding community.

Thank you for your consideration of this request, and please do not hesitate to contact me with any questions.

Sincerely,



Craig McGwier
Senior Project Manager
Balfour Beatty Construction
703-362-9960
cmcgwier@balfourbeattyus.com

Enclosures

Frew, Greg

From: Frew, Greg
Sent: Monday, August 29, 2016 11:00 AM
To: 'Dori.Familiant@Hilton.com'
Cc: 'Malick Gueye'; Garvey, John; McGwier, Craig
Subject: 400 Army Navy Drive - Extended Working Hours

Dori,

As discussed Friday, we plan to submit an application to the County for extended working hours as we enter into the concrete phase of the job. We plan to extend the current working hours to 9:00pm. This will take place for approximately one year, starting this November. The extension of work hours is needed for concrete pours, because once the pour is started it needs to set and be finished. This work should not affect your operations or the surrounding community as there is almost no noise associated with concrete finishing operations, involves only a few men, and will comply with noise ordinances.

If you have any questions, please contact me.

Thanks,

Greg Frew | Assistant Superintendent

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Balfour Beatty Construction | 400 Army Navy Drive Arlington, Va 22202 |

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SITE PLANS/AMENDMENTS/REVIEW

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1. SP #2 SITE PLAN AMENDMENT TO EXTEND PERMITTED CONSTRUCTION HOURS TO 9 P.M., LOCATED AT 400 ARMY NAVY DRIVE, (RPC #35-002-004 THROUGH -007).

On the consent agenda vote, after a duly advertised public hearing, the Board adopted the ordinance (attached to the staff report) amending Condition #13.A.5. to permit the extension of construction hours until 9 p.m. through November 30, 2017, subject to all previously approved conditions with an amended Condition #13.A.5.

SITE PLAN AMENDMENT ORDINANCE

WHEREAS, an application for a Site Plan Amendment dated August 29, 2016, for Site Plan #2 to amend Condition #13.A.5., for the 400 Army Navy Drive residential building, was filed with the Office of the Zoning Administrator; and

WHEREAS, as indicated in the Staff Report provided to the County Board for its November 5, 2016 meeting, and through comments made at the public hearing before the County Board, the County Manager recommends that the County Board approve the Site Plan Amendment subject to all previous conditions as set forth below; and

WHEREAS, the County Board held a duly-advertised public hearing on that Site Plan Amendment on November 5, 2016, and finds, based on thorough consideration of the public testimony and all materials presented to it and/or on file in the Office of the Zoning Administrator, that the improvements and/or development proposed by the Site Plan as amended:

- Substantially complies with the character of master plans, officially approved neighborhood or area development plans, and with the uses permitted and use regulations of the district as set forth in the Zoning Ordinance, with the following modification:
- Modifications as approved by the County Board on January 24, 2015; and
- Functionally relates to other structures permitted in the district and will not be injurious or detrimental to the property or improvements in the neighborhood; and
- Is so designed and located that the public health, safety and welfare will be promoted and protected.

NOW THEREFORE, BE IT ORDAINED that, as originally requested by an application dated August 29, 2016 for Site Plan #2, and as such application has been modified, revised, or amended as set forth in the Zoning Administration records for a Site Plan Amendment to amend Condition #13.A.5. on the parcel of real property known as 400 Army Navy Drive (RPC# 35-002-004 through -007) approval is granted and the parcel so described shall be used according to the site plan application, subject to all previously approved Site Plan conditions and all applicable provisions of the Arlington County Code and Zoning Ordinance, with Condition #13.A.5. amended as set forth below:

5). On-site construction activity, including, by way of illustration and not limitation, delivery of materials and equipment, except for construction worker arrival to the construction site and indoor construction activity, shall commence no earlier than 7:00 a.m. and end by 6:30 p.m. on weekdays for normal construction activity and 9 p.m. on weekdays for concrete pouring and setting activity (such extension of hours shall expire November 30, 2017), and shall commence no earlier than 10:00 a.m. and end by 6:30 p.m. on Saturdays, Sundays, and holidays for normal construction activity and 9 p.m. on Saturdays, Sundays, and holidays for concrete pouring and setting activity (such extension of hours shall expire November 30, 2017). Indoor construction activity defined as activity occurring entirely within a structure fully enclosed on all sides by installed exterior walls, windows, and/or doors shall end at midnight each day. The Developer may submit to the Zoning Administrator, through the 4.1 administrative change process, a request to permit construction activity during hours other than those identified above. The Zoning Administrator may approve such request only if the Developer can show that the construction activity requires certain utility work and/or street closures outside the hours stated above. "Holidays" are defined as New Year's Day, Martin Luther King Day, Presidents' Day, Memorial Day, Independence Day, Labor Day, Columbus Day, Veterans' Day, Thanksgiving, and Christmas. The Developer agrees to place a minimum of one sign per street front around the construction site, indicating the permissible hours of construction, to place one additional sign within the construction trailer containing the same information, to provide a written copy of the permissible hours of construction to all subcontractors, and to require its subcontractors to observe such hours.

Board Report #1

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2. **SP #11 SITE PLAN AMENDMENT FOR THE CONVERSION OF 440 SQUARE FEET OF GROUND FLOOR RESIDENTIAL TO GROUND FLOOR RETAIL, THE ADDITION OF 25 SQUARE FEET OF ADDITIONAL RETAIL GROSS FLOOR AREA (GFA) FOR THE INSTALLATION OF A REVOLVING DOOR AND TO MODIFY THE APPROVED RETAIL PARKING RATIO WITH MODIFICATIONS OF ZONING ORDINANCE REQUIREMENTS AS NECESSARY TO ACHIEVE THE PROPOSED DEVELOPMENT PLAN AT WEWORK (CRYSTAL PLAZA 6); LOCATED AT 2221 S. CLARK ST. (RPC# 34-020-003).**

On the consent agenda vote, after a duly advertised public hearing, the Board adopted the attached ordinance to approve the subject site plan amendment subject to all previously approved conditions and the revised conditions of the ordinance.

[Clerk's note: as set forth in the document entitled "Addendum-11-05-16-A-SP11-Ordinance" and "Addendum-11-05-16-A1- SP11-DRAWINGS" attached for the public record to these minutes.]

Board Report #2

Addendum-11-05-16-A-SP11-Ordinance

Addendum-11-05-16-A1- SP11-DRAWINGS

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OFFICE OF THE COUNTY
MANAGER
2100 Clarendon Boulevard, suite 302
Arlington, VA 22201

FOIA INVOICE

Reference No.: CMO-
Date:

Office: (703) 228-3120 Fax: (703) 228-3218
TTY: (703) 228-4611

FOIA Requester Contact Information

Estimated Labor Costs				
	Position	Hourly Rate	Hours	Total Expense
1				
2				
3				
4				
5				
			Total Hours	
				Labor Subtotal

Estimated Copying Costs						
Paper Size	Color or Black/White	Cost per One Sided Print	Cost per Two-Sided Print	Number of Pages		Total Amount
				1-Sided	2-Sided	
8.5 x 11	Black/ White	\$0.06	\$0.07			
8.5 x 11	Color	\$0.22	\$0.41			
8.5 x 14	Black/ White	\$0.07	\$0.08			
8.5 x 14	Color	\$0.23	\$0.42			
11 x 17	Black/ White	\$0.11	\$0.11			
11 x 17	Color	\$0.27	\$0.45			
12 x 18	Black/ White	\$0.12	\$0.13			
12 x 18	Color	\$0.28	\$0.47			
Comments:				Total Copy Fees		

Estimated Supply Costs			
Item	Cost	Amount/ Number	Total Amount
Flash drive 4GB	\$5.00		
Flash drive 8GB	\$8.00		
CD	\$0.30		
Specialty Print - 24x36	\$1.50		
			Total Supply Fees
			Total Estimated Cost